



Southwest Ranches Town Council

REGULAR MEETING
Agenda of October 25, 2018

Southwest Ranches Council Chambers
7:00 PM Thursday

13400 Griffin Road
Southwest Ranches, FL 33330

<u>Mayor</u> Doug McKay	<u>Town Council</u> Steve Breitreuz Gary Jablonski	<u>Town Administrator</u> Andrew D. Berns	<u>Town Attorney</u> Keith M. Poliakoff, J.D.
<u>Vice Mayor</u> Freddy Fisikelli	Denise Schroeder	<u>Town Financial Administrator</u> Martin Sherwood, CPA CGFO	<u>Assistant Town Administrator/Town Clerk</u> Russell C. Muniz, MMC

In accordance with the Americans with Disabilities Act of 1990, persons needing special accommodation, a sign language interpreter or hearing impaired to participate in this proceeding should contact the Town Clerk at (954) 434-0008 for assistance no later than four days prior to the meeting.

- 1. Call to Order/Roll Call**
- 2. Pledge of Allegiance**
- 3. Iworq Code Enforcement Software Implementation - Robert Solera
Community Development Director**

Quasi-Judicial Hearings

Please be advised that the following item on the Council agenda is quasi-judicial in nature. All witnesses who will testify on any item in this portion of the Agenda will be sworn. Participants who are members of the general public need not be sworn and will not be subject to cross-examination if they are not sworn. However, the Council shall not assign un-sworn testimony the same weight or credibility as sworn testimony in its deliberations.

The applicant has the burden of proof. After the applicant's concluding remarks, the hearing will be closed and no additional testimony, material or argument will be allowed unless the Council chooses to request additional testimony. The members of the Town Council will then deliberate.

All evidence relied upon by reasonably prudent persons in the conduct of their affairs may be considered in these proceedings, regardless of whether such evidence would be admissible in a court. Hearsay evidence may supplement or explain other evidence, but shall not alone support a conclusion unless it would be admissible over objection in court. The material in the Town Council agenda will be considered as evidence without authentication.

Anyone representing an organization must present written evidence of his or her authority to speak on behalf of the organization in regard to the matter under consideration. Each person who appears during a public hearing shall identify himself

or herself and give their address, and if appearing on behalf of an organization state the name and mailing address of the organization. The Council may, on its own motion or at the request of any person, continue the hearing to a fixed date, time and place.

No notice shall be required if a hearing is continued to a fixed date, time and place. Any Applicant shall have the right to request and be granted one continuance; however, all subsequent continuance shall be granted at the discretion of the Council and only upon good cause shown.

4. Resolution re-approving the Akai Estates Site Plan

A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, RE-APPROVING THE AKAI ESTATES SITE PLAN FOR THE CONSTRUCTION OF SIXTEEN SINGLE FAMILY DWELLING UNITS WITHIN THE TARA PLAT, LOCATED AT THE SOUTHWEST QUADRANT OF GRIFFIN ROAD AND UNIMPROVED SW 184TH AVENUE; AUTHORIZING THE MAYOR, TOWN ADMINISTRATOR AND TOWN ATTORNEY TO EXECUTE ANY AND ALL DOCUMENTS NECESSARY TO EFFECTUATE THE INTENT OF THIS RESOLUTION; AND PROVIDING FOR AN EFFECTIVE DATE.

5. Public Comment

- All Speakers are limited to 3 minutes.
- Public Comment will last for 30 minutes.
- All comments must be on non-agenda items.
- All Speakers must fill out a request card prior to speaking.
- All Speakers must state first name, last name, and mailing address.
- Speakers will be called in the order the request cards were received.
- Request cards will only be received until the first five minutes of public comment have concluded.

6. Board Reports

7. Council Member Comments

8. Legal Comments

9. Administration Comments

Resolutions

10. A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, APPROVING THE TOWN HOLIDAY SCHEDULE FOR THE CALENDAR YEAR 2019; AND PROVIDING AN EFFECTIVE DATE.

11. A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, APPROVING THE TOWN COUNCIL MEETING SCHEDULE FOR THE CALENDAR YEAR 2019; AND PROVIDING FOR AN EFFECTIVE DATE.

12. A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, APPROVING THE EIGHTH AMENDMENT TO THE AGREEMENT WITH CSI CODE SERVICES, INC. ("CSI"); INCREASING THE COMPENSATION EFFECTIVE OCTOBER 1, 2018; ADDING AN ADDITIONAL CODE OFFICER; AUTHORIZING THE MAYOR, TOWN ADMINISTRATOR, AND TOWN

ATTORNEY TO ENTER INTO AN AGREEMENT; AND PROVIDING AN EFFECTIVE DATE.

13. Approval of Minutes

a. September 27, 2018 Regular Meeting

14. Adjournment

PURSUANT TO FLORIDA STATUTES 286.0105, THE TOWN HEREBY ADVISES THE PUBLIC THAT IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THIS COUNCIL WITH RESPECT TO ANY MATTER CONSIDERED AT ITS MEETING OR HEARING, HE OR SHE WILL NEED A RECORD OF THE PROCEEDINGS, AND THAT FOR SUCH PURPOSE, THE AFFECTED PERSON MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDING IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED. THIS NOTICE DOES NOT CONSTITUTE CONSENT BY THE TOWN FOR THE INTRODUCTION OR ADMISSION OF OTHERWISE INADMISSIBLE OR IRRELEVANT EVIDENCE, NOR DOES IT AUTHORIZE CHALLENGES OR APPEALS NOT OTHERWISE ALLOWED BY LAW.

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Town of Southwest Ranches
13400 Griffin Road
Southwest Ranches, FL 33330-2628

(954) 434-0008 Town Hall
(954) 434-1490 Fax

Town Council
Doug McKay, *Mayor*
Freddy Fisikelli, *Vice Mayor*
Steve Breitzkreuz, *Council Member*
Gary Jablonski, *Council Member*
Denise Schroeder, *Council Member*

Andrew D. Berns, *Town Administrator*
Keith M. Poliakoff, *JD, Town Attorney*
Russell Muniz, *Assistant Town Administrator/Town Clerk*
Martin D. Sherwood, *CPA, CGMA, CGFO, Town Financial Administrator*

COUNCIL MEMORANDUM

TO: Honorable Mayor McKay and Town Council
VIA: Andy Berns
FROM: Jeff Katims
DATE: 10/10/2018
SUBJECT: Resolution re-approving the Akai Estates Site Plan

Recommendation

Approval of the application for site plan re-approval subject to the specified conditions.

Strategic Priorities

A. Sound Governance

Background

Council approved the Akai Estates Site Plan on December 8, 2016. The site plan expired because the applicant did not apply for permits within the requisite period. The applicant has submitted a new application for re-approval of the exact same site plan that Council originally approved.

Fiscal Impact/Analysis

N/A

Staff Contact:

Jeff Katims, AICP, CNU-A

ATTACHMENTS:

October 23, 2018 Regular Meeting

Description	Upload Date	Type
SP-73-18 Akai - TA Approved	10/19/2018	Resolution
Staff Report	10/19/2018	Executive Summary
2016 Site Plan Resolution	10/10/2018	Backup Material
Site Plan	10/23/2018	Exhibit

RESOLUTION NO. 2019-____

A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, RE-APPROVING THE AKAI ESTATES SITE PLAN FOR THE CONSTRUCTION OF SIXTEEN SINGLE FAMILY DWELLING UNITS WITHIN THE TARA PLAT, LOCATED AT THE SOUTHWEST QUADRANT OF GRIFFIN ROAD AND UNIMPROVED SW 184TH AVENUE; AUTHORIZING THE MAYOR, TOWN ADMINISTRATOR AND TOWN ATTORNEY TO EXECUTE ANY AND ALL DOCUMENTS NECESSARY TO EFFECTUATE THE INTENT OF THIS RESOLUTION; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Town Council approved Application No. SP-57-14, Akai Estates Site Plan, for 16 single-family homes on the Tara Plat ("Plat") on December 8, 2016, subject to conditions; and

WHEREAS, the developer failed to apply for building permits within the twelve months allotted for same in Sec. 120-060 of the Unified Land Development Code, causing the site plan to expire; and

WHEREAS, Akai Estates, LLC ("Owner," which shall include its successors and assigns in title) submitted Application No. SP-73-18 for the reapproval of the Akai Estates Site Plan; and

WHEREAS, the Town Council finds that the Site Plan continues to comply with the applicable requirements of the Town of Southwest Ranches Unified Land Development Code and the Town of Southwest Ranches Comprehensive Plan.

NOW, THEREFORE BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA:

Section 1. That the foregoing "WHEREAS" clauses are hereby ratified and confirmed as being true and correct and are hereby made a specific part of this Resolution.

Section 2. That, at a duly noticed public hearing held on October 25, 2018 following the review of the staff report and all written and oral evidence received during the public hearing, the Town Council hereby approves Application No. SP-73-18 for reapproval of the Akai Estates Site Plan, which is unchanged from the 2016 approval pursuant to Resolution No. 2017-017, subject to Owner complying with the same conditions as those set forth in such Resolution, which are restated as follows:

1. Approval of accompanying Application No. VC-27-17 to vacate and re-dedicate drainage easements within the Plat.

2. Execution and Recordation of a Temporary Ingress/Egress Easement to connect Akai Drive to Griffin Road prior to issuance of the first building permit for a principal building.
3. Execution and Recordation of an Ingress/Egress Easement to extend the internal street (Akai Drive) to the north, as new access for Lots 1 through 4 (originally to be accessed directly from SW 184th Avenue) prior to issuance of the first building permit for a principal building.
4. The HOA shall be responsible for maintenance of the public right-of-way within the plat. Owner shall record an indemnification, indemnifying the Town for the public right-of-way within the Plat prior to issuance of the first building permit for a principal building.
5. Final approval of the HOA documents by the Town Attorney prior to their recordation, prior to issuance of the first building permit for a principal building. Such HOA documents shall not restrict the keeping of animals in a manner more stringent than the ULDC.
6. Provide certified cost estimate for onsite and designated offsite improvements (if any not bonded to Broward County) and surety bond in the amount of 125 percent of construction costs prior to issuance of the first building permit. Such improvements shall include the demucking and sodding or mulching of the multi-use trail.
7. Record a document in the Broward County Public Records, to be approved as to form by the Town Attorney, providing notice to potential purchasers that there are substantial improvements required in connection with the site plan approval that have not been bonded or otherwise guaranteed, and that the Town will not issue a building permit for any home until such time as the improvements have been bonded with the Town.
8. SBDD approval required for plantings in drainage easements.
9. Broward County Highway Construction and Engineering Division approval required for signage, landscaping and frontage road improvements within the Griffin Road Right-of-Way.
10. Construction of any models with associated signage and parking, and any construction trailer shall require Administrative approval.
11. Administrative site plan modification will be required for the re-establishment of the signage and any entrance features at the permanent community entrance.
12. Applicant shall pay to the Town of Southwest Ranches an amount equal to the total expenses incurred by the Town in the processing and finalizing of this application. This includes, but may not be limited to, expenses for engineering, legal, and any related expenses that the Town has or will incur as a direct cost of this application.
13. No gates are permitted in conjunction with the guardhouse. Speed bumps or a similar device may be employed to slow cars as they approach the guardhouse.

Section 3. The Mayor, Town Administrator and Town Attorney are each authorized to execute any and all documents necessary to effectuate the intent of this Resolution.

Section 4. This Resolution shall become effective immediately upon passage and adoption.

PASSED AND ADOPTED by the Town Council of the Town of Southwest Ranches, Florida, this ___ day of October, 2018 on a motion by _____ and seconded by _____.

McKay _____
Fisikelli _____
Breitkreuz _____
Jablonski _____
Schroeder _____

Ayes _____
Nays _____
Absent _____
Abstaining _____

Doug McKay, Mayor

ATTEST:

This is to certify that this Resolution and Final Order has been filed by the undersigned for the records, and a copy provided to the Applicant and/or authorized agent this ___ day of _____, 2018.

Russell Muñiz, MMC, Assistant Town Administrator/Town Clerk

Approved as to Form and Correctness:

Keith Poliakoff, J.D., Town Attorney

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**TOWN OF SOUTHWEST RANCHES
TOWN COUNCIL AGENDA REPORT**

October 25, 2018

- SUBJECT:** Site Plan Application SP-73-18
- LOCATION:** Generally located at the southwest quadrant of Griffin Road and SW 184th Avenue.
- PETITIONER/
OWNER:** Akai Estates, LLC / Felipe Vergara, Manager
333 Las Olas Way, Unit No. 1
Fort Lauderdale, FL 33301
- LAND USE PLAN
DESIGNATION:** Rural Ranch
- ZONING:** A-1, Agricultural Estate District
- PUBLIC NOTICE:** Legal notice in newspaper, mail notice, sign posting on property
- EXHIBITS:** Staff Report, Proposed Resolution, Resolution No. 2017-017, site plan, notification map and mailing label list

BACKGROUND AND ANALYSIS

The Town Council approved the Akai Estates Site Plan on December 8, 2016, subject to several conditions (see Resolution No. 2017-017, attached). The Council also approved the relocation and reconfiguration of several drainage easements. The ULDC allows an applicant twelve months to submit building permits for all improvements shown on an approved site plan. The applicant did not do so, causing the site plan to expire on December 8, 2017. The applicant has submitted a new application for re-approval of the exact same site plan that Council originally approved. The original staff analysis is provided below, and is still applicable.

RECOMMENDATION

Staff recommends that Council reapprove the 2016 Akai Estates site plan with the same conditions that applied to the original approval, as set forth in Resolution No. 2017-07 and restated in the Resolution for the current application.

ORIGINAL (2016) SITE PLAN ANALYSIS

The applicant is requesting approval of a site plan to develop 16 single-family homes on approximately 37 acres located at the southwest quadrant of Griffin Road and unimproved SW 184th Avenue and legally described as the Tara Plat, which was recorded in 1997 in Plat Book 162, Page 20 of the Broward County Public Records (“Property”). The Property has a land use plan designation

of Rural Ranch and is zoned A-2, Agricultural Estate District, which permits residential development at 1 unit per 2 net acres, or 1 unit per 2.5 gross acres. The platted lots are a minimum of 2.0 acres in area, but were platted before the Town restricted canals and “wet” drainage easements from counting toward required lot area. Accordingly, the existing platted lots are nonconforming with respect to minimum required lot area.

The Town approved the Downey Equestrian Ranches Site Plan in 2005. At that time, the site plan mirrored the plat, and provided for Lots 1 through 4 to directly access SW 184th Avenue, which was to be constructed by the developer to the point of intersection with the entrance street that would serve Lots 5 through 16. As part of the 184th Avenue construction, the developer was required to relocate the existing 184th Avenue Canal approximately 40 feet to the west. The Downey Equestrian Ranches Site Plan expired due to lack of construction.

A new developer, Akai Estates, LLC acquired the Property in early 2014 and initiated the site plan approval process about a year later. While developing construction plans for SW 184th Avenue, it became apparent that the road could not be constructed in proper alignment with Bonaventure Boulevard without right-of-way from R R Garden Center located at the southeast corner of Griffin Road and unimproved SW 184th Avenue. By August, 2015 the Town, developer and Broward County agreed on a solution to provide temporary access to the community from Griffin Road until such time as the county obtains the needed right-of-way and constructs SW 184th Avenue to the platted community entrance street (Plat Amendment Application No. DE-19-15). The temporary access involves a frontage street parallel to, and within the Griffin Road Right-of-Way, and a northerly extension of the platted north-south street internal to the subdivision (Akai Drive) to connect with the temporary frontage road. The frontage road will connect to the church driveway about 225 feet west of the Property, and would have a pass-through gate that would open and close automatically for all inbound and outbound vehicles. The Broward County Highway Construction and Engineering Division will be the agency responsible for approving the frontage road alignment, geometry and design. The extension of Akai Drive will be fully contained within an existing “wet” drainage easement that is to be vacated (see discussion below), resulting in no net change to the area of Lots 1 through 4.

When SW 184th Avenue is eventually constructed, the future HOA will be responsible for removing the temporary frontage road and all other temporary improvements and restoring the right-of-way and area within Lot 1 to final landscaped condition. The HOA documents and separate agreement with the County require that these actions be completed within 90 days of the opening of SW 184th Avenue to traffic from Griffin Road. The developer has executed easement documents prepared by the Town Attorney’s Office for temporary access to Griffin Road, the northerly extension of Akai Drive and a turnaround easement for the future cul-de-sac at the north end of the Property once access to Griffin Road is closed.

The Non-Vehicular Access Line (NVAL) and conditions of plat approval were amended accordingly, and involved a series of changes that included eliminating the requirement that the developer construct SW 184th Avenue and relocate the canal, closing the NVAL openings onto SW 184th for Lots 1 through 4, and authorizing temporary access from Griffin Road via a temporary frontage drive.

In addition to the access issue, the developer was required to reconfigure the drainage system because the SW 184th Avenue Canal no longer connected to the C-11 Canal. The developer vacated the platted drainage easements through South Broward Drainage District (“SBDD”) and dedicated new easements. The developer has filed Application No. VC-27-17 for Town Council vacation and acceptance of the same easements for which SBDD did so.

Part of the drainage improvements required by SBDD include deepening and widening the SW 184th Avenue Canal. The Property will drain into the canal and on-site lake (originally a single lake and

now to be bifurcated by the northerly extension of Akai Drive to provide access to Lots 1 through 4). Drainage will be mostly via Surface Water Management Area swale conveyance, supplemented by drainage boxes and lot corners piped into the canal. SBDD has determined that the system's capacity and configuration will allow future connections from the west. SBDD requires all swale conveyance systems to be recertified every 5 years.

The HOA, to be established by the developer, will maintain the drainage system and internal street, including the portion of Akai Drive that is public right-of-way. The final HOA documents incorporate these requirements, and have been reviewed by the Town Attorney. The draft HOA documents also prohibit street lights and prevent the HOA from restricting the keeping of livestock and poultry in any manner that is more restrictive than the ULDC.

A multi-use recreation trail will traverse the plat, connecting the unimproved SW 49th Street right-of-way to the west to the 184th Avenue right-of-way to the east, partially within the future community entrance from SW 184th Avenue between Lot 5 and the east lake.

A community entrance sign is proposed within the Griffin Road Right-of-Way, and is subject to county permitting. The sign complies with the ULDC. A contemporary entrance feature 16 feet in height is proposed within the temporary ingress/egress easement in Lot 1. The entry feature is similar to a consists of two wall-like structures on either side of the inbound lane connected on the top by beams over the inbound lane.

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SP-73-18 Location Map



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RESOLUTION NO. 2017-017

A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, APPROVING THE AKAI ESTATES SITE PLAN, APPLICATION NO. SP-57-14, TO CONSTRUCT SIXTEEN SINGLE FAMILY DWELLING UNITS WITHIN THE TARA PLAT LOCATED AT THE SOUTHWEST QUADRANT OF GRIFFIN ROAD AND UNIMPROVED SW 184TH AVENUE; AUTHORIZING THE MAYOR, TOWN ADMINISTRATOR AND TOWN ATTORNEY TO EXECUTE ANY AND ALL DOCUMENTS NECESSARY TO EFFECTUATE THE INTENT OF THIS RESOLUTION; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Town Council approved the Downey Equestrian Ranches Site Plan for 16 single-family homes on the Tara Plat ("Plat") in 2005; and

WHEREAS, the developer failed to obtain building permits and commence construction, causing the site plan to expire; and

WHEREAS, Akai Estates, LLC ("Owner," which shall include its successors and assigns in title) submitted Application No. SP-57-14 for approval of the Akai Estates site plan ("Site Plan"); and

WHEREAS, the Site Plan employs temporary access from Griffin Road because the platted access from SW 184th Avenue will not available until Broward County obtains the necessary right-of-way for the actual construction of SW 184th Avenue from Griffin Road to the Plat; and

WHEREAS, the temporary access from Griffin Road requires construction of a frontage road into the Plat from an existing driveway onto Griffin Road located west of the Plat, and dedication of a new ingress and egress easement extending north from the platted street right-of-way within the Plat to the point of intersection with the frontage road, which easement will be fully contained within the bounds of a vacated drainage easement and will not affect lot area calculations; and

WHEREAS, when access to SW 184th Avenue becomes available, the platted entrance to the community will be utilized, and Akai Drive will terminate in a cul-de-sac in between Lots 1 and 2; and

WHEREAS, the requisite changes to the Non-Vehicular Access Line were approved by the Town (Application No. DG-19-15) and Broward County to reflect the change in access conditions and absolve the developer from having to construct SW 184th Avenue and relocate the canal to the west as platted; and

WHEREAS, the Site Plan reconfigures the platted drainage easements to reflect changes in hydrology and deferred relocation of the SW 184th Avenue Canal associated with the construction of SW 184th Avenue; and

WHEREAS, South Broward Drainage District ("SBDD") vacated platted drainage easements and accepted new drainage easements in May, 2015, and the Town took the same actions on December 8, 2016; and

WHEREAS, the temporary ingress and egress easement within the Site Plan crosses in front of a community facility located along Griffin Road; and

WHEREAS, to help ensure a complete bifurcation of the community facility and residential properties, and to provide Akai Estates with some additional security until SW 184th Avenue has been completed, Akai Estates Site Plan includes an entrance structure with a guardhouse\; and

WHEREAS, the Site Plan has no street lights, curbs or sidewalks, and the Homeowner's Association documents approved by the Town Attorney prohibit the HOA from adding restrictions on the keeping of livestock beyond those contained in the Town's Code; and

WHEREAS, the streets shall remain open to the public, but maintenance of the internal street and drainage system shall be the sole responsibility of a homeowner's association; and

WHEREAS, the Town Council finds that the Site Plan complies with the applicable requirements of the Town of Southwest Ranches Unified Land Development Code and the Town of Southwest Ranches Comprehensive Plan.

NOW, THEREFORE BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA:

Section 1. That the foregoing "WHEREAS" clauses are hereby ratified and confirmed as being true and correct and are hereby made a specific part of this Resolution.

Section 2. That, at a duly noticed public hearing held on December 8, 2016 following the review of the staff report and all written and oral evidence received during the public hearing, the Town Council hereby approves Site Plan Application No. SP-57-14 for development of 16 single-family homes and ancillary structures, subject to Owner complying with the following conditions:

1. Approval of accompanying Application No. VC-27-17 to vacate and re-dedicate drainage easements within the Plat.
2. Execution and Recordation of a Temporary Ingress/Egress Easement to connect Akai Drive to Griffin Road prior to issuance of the first building permit for a principal building.

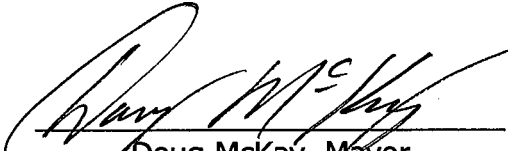
3. Execution and Recordation of an Ingress/Egress Easement to extend the internal street (Akai Drive) to the north, as new access for Lots 1 through 4 (originally to be accessed directly from SW 184th Avenue) prior to issuance of the first building permit for a principal building.
4. The HOA shall be responsible for maintenance of the public right-of-way within the plat. Owner shall record an indemnification, indemnifying the Town for the public right-of-way within the Plat prior to issuance of the first building permit for a principal building.
5. Final approval of the HOA documents by the Town Attorney prior to their recordation, prior to issuance of the first building permit for a principal building.
6. Provide certified cost estimate for onsite and designated offsite improvements (if any not bonded to Broward County) and surety bond in the amount of 125 percent of construction costs prior to issuance of the first building permit. Such improvements shall include the demucking and sodding or mulching of the multi-use trail.
7. Record a document in the Broward County Public Records, to be approved as to form by the Town Attorney, providing notice to potential purchasers that there are substantial improvements required in connection with the site plan approval that have not been bonded or otherwise guaranteed, and that the Town will not issue a building permit for any home until such time as the improvements have been bonded with the Town.
8. SBDD approval required for plantings in drainage easements.
9. Broward County Highway Construction and Engineering Division approval required for signage, landscaping and frontage road improvements within the Griffin Road Right-of-Way.
10. Construction of any models with associated signage and parking, and any construction trailer shall require Administrative approval.
11. Administrative site plan modification will be required for the re-establishment of the signage and any entrance features at the permanent community entrance.
12. Applicant shall pay to the Town of Southwest Ranches an amount equal to the total expenses incurred by the Town in the processing and finalizing of this application. This includes, but may not be limited to, expenses for engineering, legal, and any related expenses that the Town has or will incur as a direct cost of this application.
13. No gates are permitted in conjunction with the guardhouse. Speed bumps or a similar traffic calming devices may be employed to slow cars as they approach the guardhouse.

Section 3. The Mayor, Town Administrator and Town Attorney are each authorized to execute any and all documents necessary to effectuate the intent of this Resolution.

Section 4. This Resolution shall become effective immediately upon passage and adoption.

PASSED AND ADOPTED by the Town Council of the Town of Southwest Ranches, Florida, this 8th day of December, 2016 on a motion by Vice Mayor Breitkreuz and seconded by Council Member Jablonski.

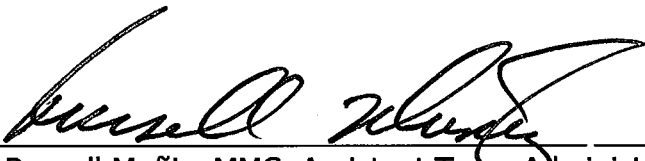
Mckay	<u>Yes</u>	Ayes	<u>5</u>
Breitkreuz	<u>Yes</u>	Nays	<u>0</u>
Fisikelli	<u>Yes</u>	Absent	<u>0</u>
Jablonski	<u>Yes</u>	Abstaining	<u>0</u>
Schroeder	<u>Yes</u>		



Doug McKay, Mayor

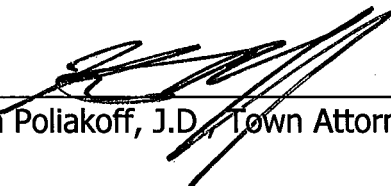
ATTEST:

This is to certify that this Resolution and Final Order has been filed by the undersigned for the records, and a copy provided to the Applicant and/or authorized agent this 8th day of December, 2016.



Russell Muñiz, MMC, Assistant Town Administrator/Town Clerk

Approved as to Form and Correctness:



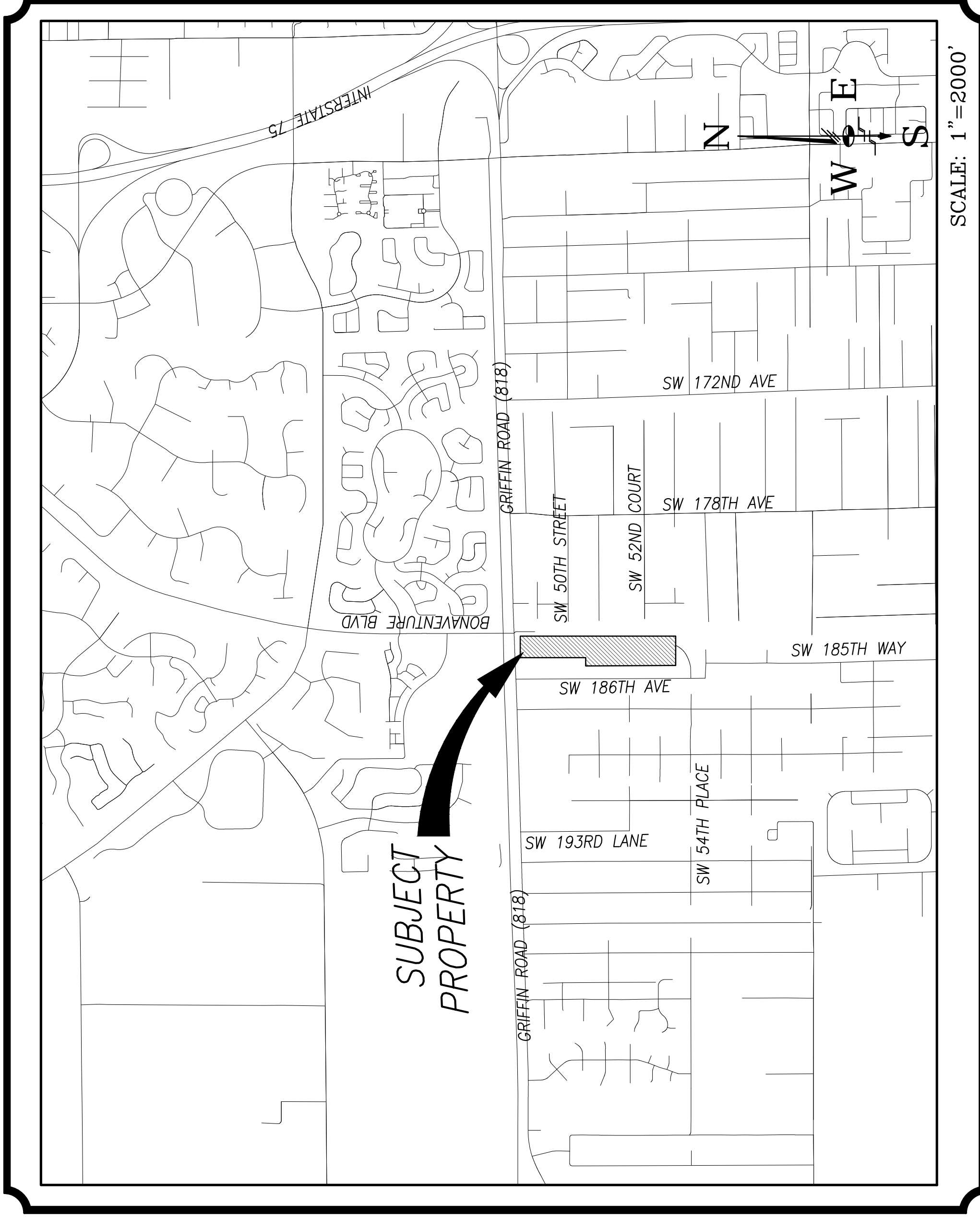
Keith Poliakoff, J.D., Town Attorney

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AKAI ESTATES

TOWN OF SOUTHWEST RANCHES CIVIL DEVELOPMENT PLANS

April 2014



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LOCATION SKETCH

1"=2000'

NOTE:
THE ELEVATIONS SHOWN HEREON REFER TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D.) AND ARE EXPRESSED IN FEET. TO CONVERT TO NAVD PLEASE SUBTRACT THE OFFICIAL BROWARD COUNTY SINGLE AVERAGE CONVERSION FACTOR (ACF). THE ACF IN BROWARD COUNTY IS (1.31 FEET)

SITE PLAN
FILE No. B-1977
C-1
SHEET 1 OF 41

By: John C. Tello
Asst. Vice Pres.
Registered Engineer No. 77587
State of Florida

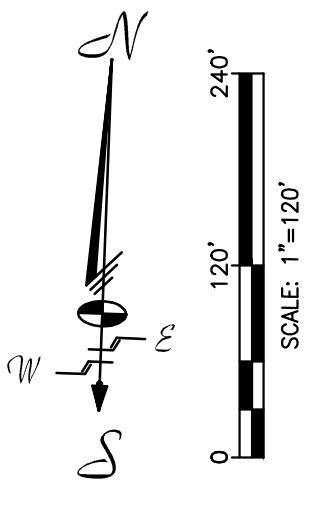
EXISTING LEGEND	
ADRIAL TARGET	SWIMWAY SEWER MANHOLE
ALUMINUM LIGHT POST (SINGLE)	SPACE CONNECTION
ALUMINUM LIGHT POST (DOUBLE)	SPRINKLER PUMP
ALUMINUM LIGHT POST (TRIPLE)	STANDPIPE
ALUMINUM LIGHT POST (QUAD)	STORM SEWER MANHOLE
ANCHOR/CLAY PIPE	STREET LIGHT HAND HOLE
BACKFLOW PREVENTER ASSEMBLY	TELEPHONE BOX (SOUTHERN BELL)
CATCH BASIN	TELEPHONE HAND HOLE
CENTERLINE	TELEPHONE MANHOLE (SCL BELL)
CHECK VALVE ASSEMBLY	TELEPHONE PARAPHONE
COLUMN (CIRCULAR)	TRAFFIC SIGNAL POLE
CONCRETE LIGHT POLE (DOUBLE)	UNDERGROUND UTILITY MARKER
CORNER POLE	UNKNOWN UTILITY MANHOLE
CORNER POLE	UNKNOWN UTILITY HAND HOLE
CORNER POLE	WATER METER
ELECTRIC BOX	WATER VALVE
ELEVATIONS (SEE NOTES FOR DATUM)	WOOD LIGHT POLE
FLAPWALL	HANDICAP PARKING
FLOW LINE	STREET PARKING

Always call 811 two full business days before you dig

p r e p a r e d b y

SCHWEBKE-SHISKIN & ASSOCIATES, INC.
3240 CORPORATE WAY, MIRAMAR, FL. 33025
LAND PLANNERS - ENGINEERS - LAND SURVEYORS (LB & CA#87)
TEL: (305)652-7010 FAX: (305)652-8284

REVISIONS	Date	Remarks	By



SITE PLAN LEGEND:

S.W.M.A = DENOTES SURFACE WATER MANAGEMENT AREA
 R/W = DENOTES RIGHT-OF-WAY
 P = DENOTES PROPERTY LINE
 [Symbol: Dashed line with dots] = DENOTES EXISTING EDGE OF PAVEMENT
 [Symbol: Dashed line] = DENOTES PROPOSED GUARD RAIL PER FDOT INDEX 400
 [Symbol: Solid line with dashes] = DENOTES CENTER LINE
 [Symbol: Solid line] = DENOTES PROPOSED PAVEMENT
 10 = DENOTES LOT NUMBER
 * = DENOTES EXISTING EASEMENT
 ** = DENOTES PROPOSED EASEMENT

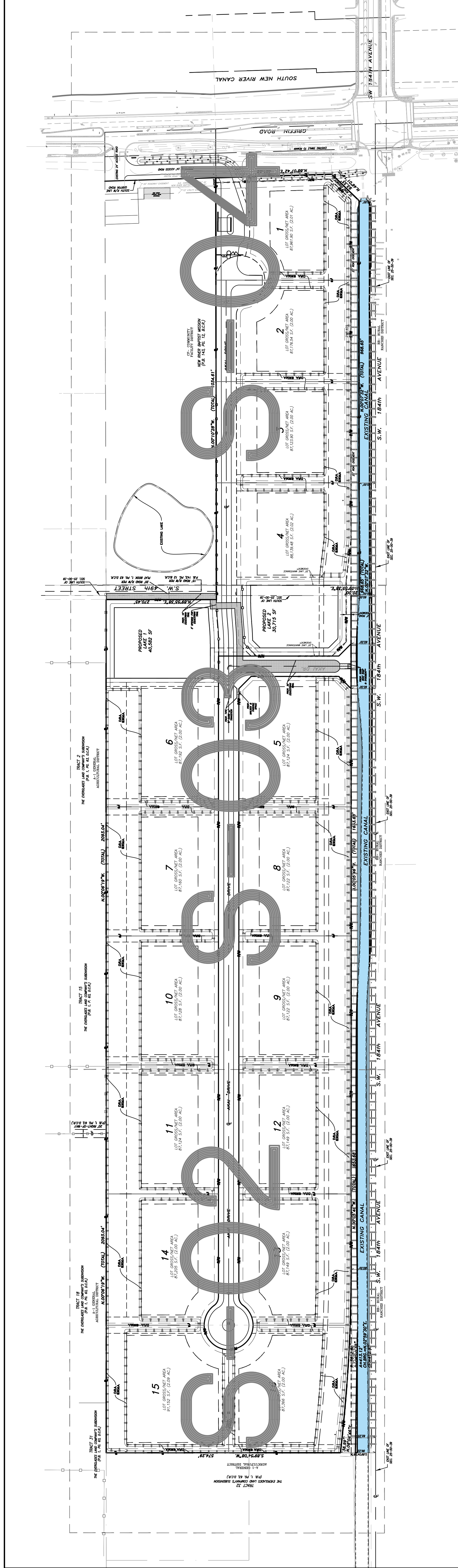
LEGAL DESCRIPTION:
 ALL OF "TARA" PLAT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 162, AT PAGE 20 OF THE PUBLIC RECORD OF BROWARD COUNTY, FLORIDA, SAID LANDS SITUATE, LYING AND BEING WITHIN SECTIONS 25-50S-39E AND 36-50S-39E IN THE TOWN OF SOUTHWEST RANCHES, BROWARD COUNTY, FLORIDA.

SITE PLAN DATA

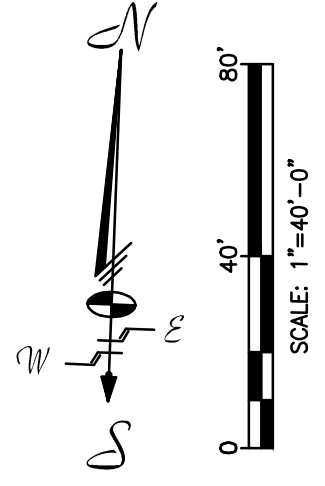
RESIDENTIAL
 A1 (AGRICULTURAL ESTATE DISTRICT)
 1,615,726.31 sq.ft.
 105,626.36 sq.ft.
 1,510,099.95 sq.ft.
 1,400,394.00 sq.ft.
 87,524.68 sq.ft.
 87,122.00 sq.ft.
 91,152.00 sq.ft.
 74,916.02 sq.ft.
 995,982.54 sq.ft. (66.95%)
 1,176,504.92 sq.ft.
 50 FEET
 50 FEET
 25 FEET
 25 FEET

EXISTING ZONING DESIGNATION
 TOTAL AREA =
 PUBLIC RIGHT-OF-WAY AREA =
 NET AREA =
 TOTAL LOT AREA =
 AVERAGE LOT AREA =
 SMALLEST LOT AREA =
 LARGEST LOT AREA =
 TOTAL LAKE AREA =
 TOTAL LANDSCAPE AREA
 OPEN SPACE AREA
 MINIMUM FRONT SETBACK REQUIRED:
 MINIMUM FRONT SETBACK PROVIDED:
 MINIMUM YARD SETBACK REQUIRED:
 MINIMUM YARD SETBACK PROVIDED:

LOTS	LOTS AREA
1	84,961.90
2	87,176.54
3	87,123.90
4	88,139.48
5	87,124.00
6	87,160.00
7	87,122.00
8	87,122.00
9	87,122.00
10	87,128.00
11	87,124.00
12	87,160.00
13	87,160.00
14	87,152.00
15	87,152.00
16	87,366.00



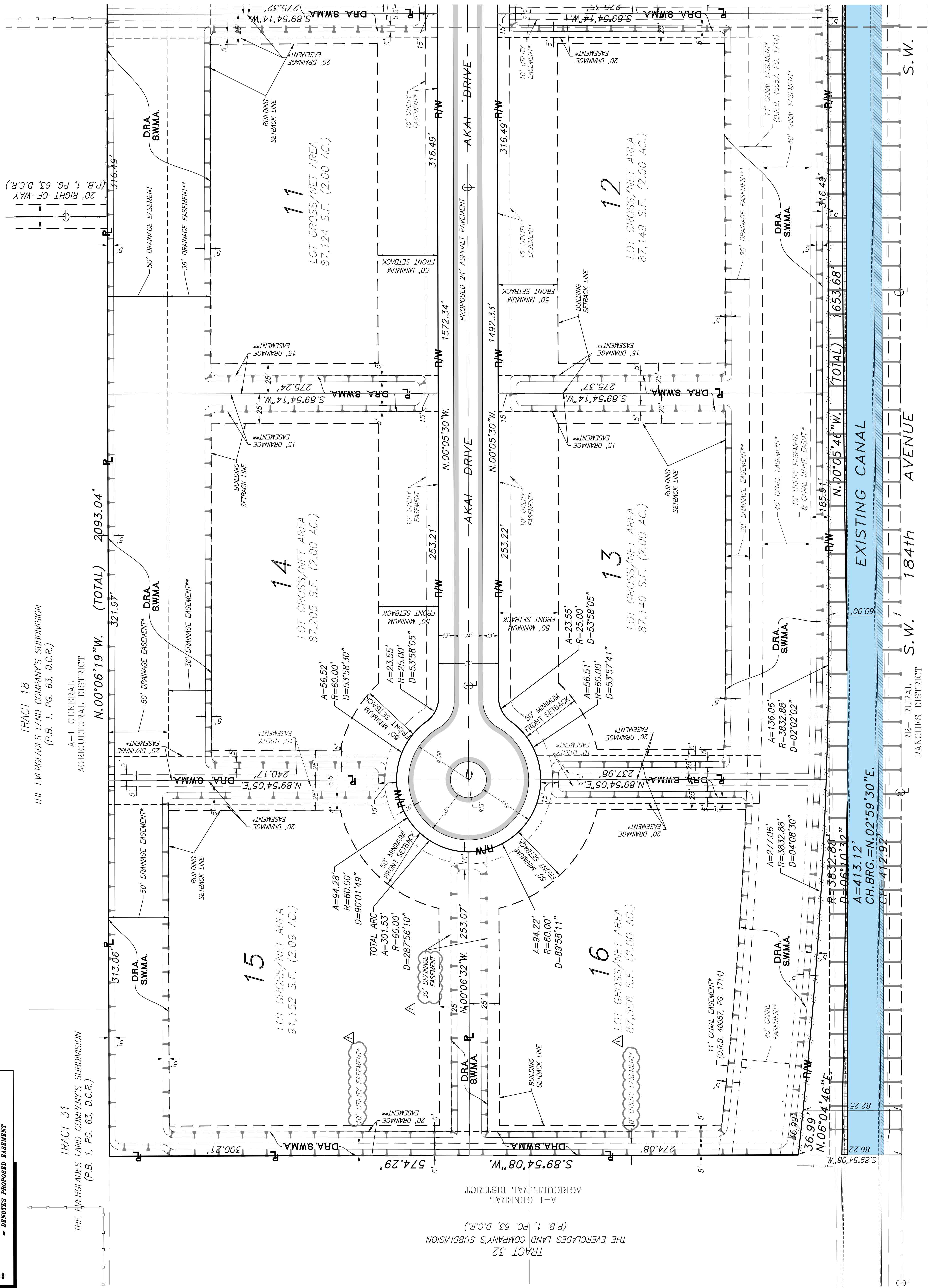
- SITE PLAN LEGEND:**
- DENOTES SURFACE WATER MANAGEMENT AREA
 - DENOTES RIGHT-OF-WAY
 - DENOTES PROPERTY LINE
 - DENOTES EXISTING EDGE OF PAVEMENT
 - DENOTES PROPOSED GUARD RAIL
 - DENOTES PROPOSED CENTER LINE
 - DENOTES PROPOSED PAVEMENT
 - DENOTES LOT NUMBER
 - DENOTES EXISTING EASEMENT
 - DENOTES PROPOSED EASEMENT



TRACT 31
THE EVERGLADES LAND COMPANY'S SUBDIVISION
(P.B. 1, PG. 63, D.C.R.)
A-1 GENERAL
AGRICULTURAL DISTRICT
N.00°06'19"W. (TOTAL) 2093.04'

TRACT 18
THE EVERGLADES LAND COMPANY'S SUBDIVISION
(P.B. 1, PG. 63, D.C.R.)
A-1 GENERAL
AGRICULTURAL DISTRICT
N.00°06'19"W. (TOTAL) 2093.04'

TRACT 32
THE EVERGLADES LAND COMPANY'S SUBDIVISION
(P.B. 1, PG. 63, D.C.R.)
A-1 GENERAL
AGRICULTURAL DISTRICT
N.00°05'30"W. (TOTAL) 1653.68'



MATCH LINE - SEE SHEET S-3 OF 4

AKAI ESTATES
SITE PLAN
SHEET 2

TOWN OF SOUTHWEST RANCHES, FLORIDA, SEC. 36-50-39

Drawn By: MDG Date: 08/28/14
Checked By: JCT Date: 08/28/14
Order No: 200183 PR: 00000 Pg: 00
Drawing Status: Preliminary

By: John C. Tello
Asst. Vice Pres.
Registered Engineer No. 71587
State of Florida

Scale: As Noted
File No: B-1977
Dwg. No: S-2
Of: 41

Schwabke Shiskin & Associates, Inc.
LAND SURVEYORS
CIVIL ENGINEERS
LAND PLANNERS
LE#87 CH#87
9340 CORPORATE WAY
MIAMI, FL 33025
TEL: (305) 652-7010
FAX: (305) 652-8284

REVISIONS

Date	By	Remarks
6/2/15	GENERAL	REVISIONS SET

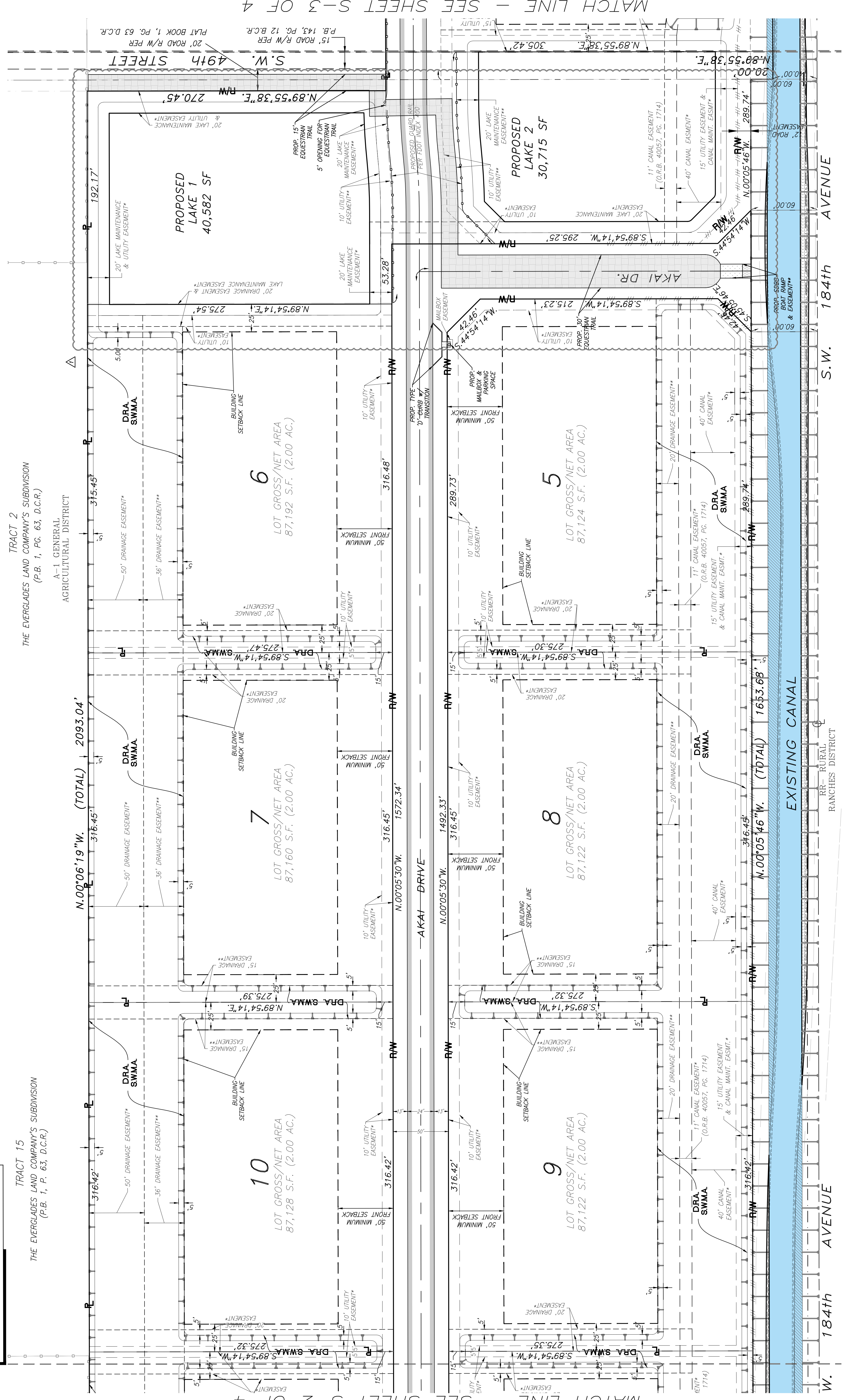
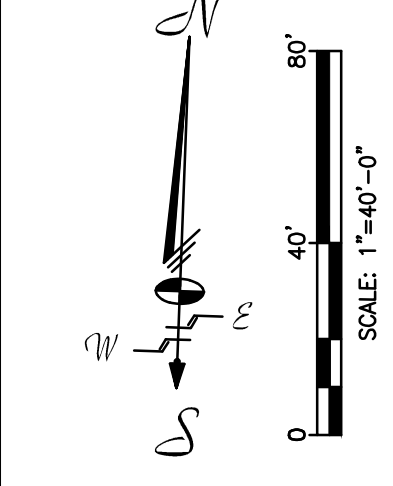
NOTE: Electronic copies of this drawing will bear the raised seal of the attesting Professional Engineer or Professional Land Surveyor.

- SIZE PLAN LEGEND:**
- DENOTES SURFACE WATER MANAGEMENT AREA
 - DENOTES RIGHT-OF-WAY
 - DENOTES PROPERTY LINE
 - DENOTES EXISTING EDGE OF PAVEMENT
 - DENOTES PROPOSED CHAD RAIL PER FOOT INDEX 400
 - DENOTES PROPOSED PAVEMENT
 - DENOTES LOT NUMBER
 - DENOTES EXISTING EASEMENT
 - DENOTES PROPOSED EASEMENT

TRACT 15
THE EVERGLADES LAND COMPANY'S SUBDIVISION
(P.B. 1, P. 63, D.C.R.)

TRACT 2
THE EVERGLADES LAND COMPANY'S SUBDIVISION
(P.B. 1, P. 63, D.C.R.)

A-1 GENERAL
AGRICULTURAL DISTRICT



Schwabke Shiskin & Associates, Inc.
LAND SURVEYORS
CIVIL ENGINEERS
LAND PLANNERS
LB#87 CA#87
3340 CORPORATE WY
MIAMI, FL 33156
TEL: (305)652-7010
FAX: (305)652-8284

REVISIONS	Date	By	Remarks
	6/2/15	GENERAL	REVISIONS

AKAI ESTATES
SITE PLAN
SHEET 3
TOWN OF SOUTHWEST RANCHES, FLORIDA, SEC. 36-50-39

Drawn By: MDG Date: 08/08/14
Checked By: JCT Date: 08/08/14
Order No: 2013153 FR 0000 Pg. 00
Drawing Status: Preliminary

By: **John C. Tello**
Asst. Vice Pres.
Registered Engineer No. 71567
State of Florida

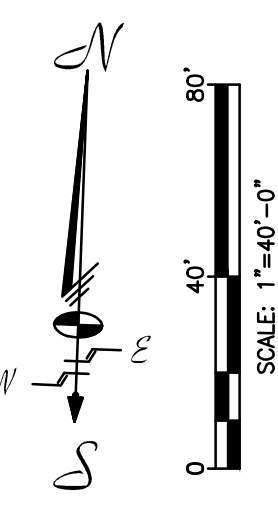
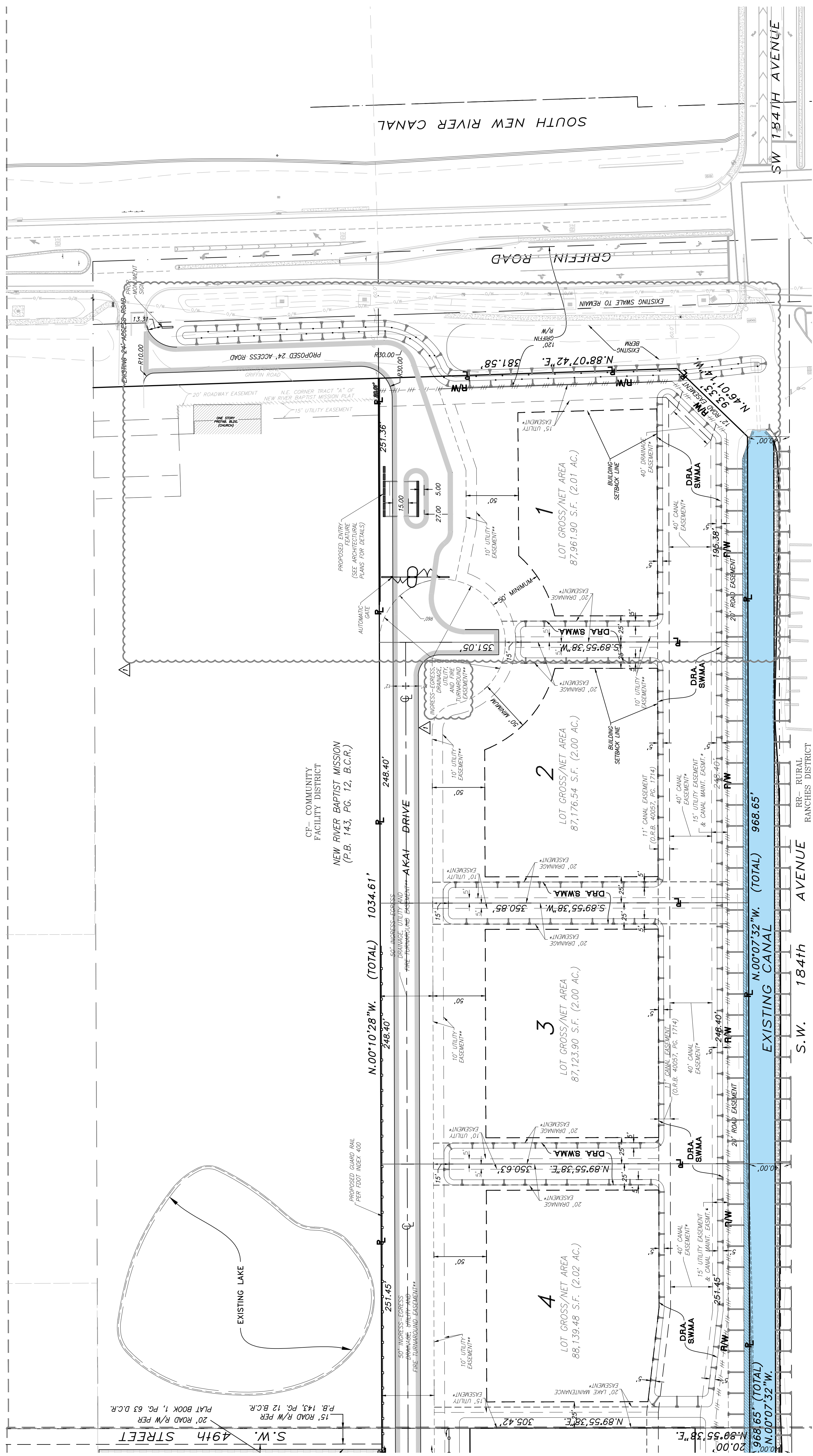
NOTE: Authentic copies of this drawing will bear the raised seal of the attesting Professional Engineer or Professional Land Surveyor.

Scale: As Noted
File No. **B-977**
Dwg. No. **S-3**
OF: 41

MATCH LINE - SEE SHEET S-4 OF 4

SITE PLAN LEGEND:

- S.W.M.A = DENOTES SURFACE WATER MANAGEMENT AREA
- R/W = DENOTES RIGHT-OF-WAY
- E = DENOTES PROPERTY LINE
- = DENOTES EXISTING EDGE OF PAVEMENT
- = DENOTES PROPOSED GUARD RAIL PER FOOT INDEX 400
- = DENOTES CENTER LINE
- = DENOTES PROPOSED PAVEMENT
- 10 = DENOTES LOT NUMBER
- = DENOTES EXISTING EASEMENT
- .. = DENOTES PROPOSED EASEMENT



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 CIVIL ENGINEERS
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 LB#87 CA#87
 3340 CORPORATE WAY
 MIRAMAR, FL 33025
 TEL: (305)652-7010
 FAX: (305)652-8284

REVISIONS

Date	By	Remarks
6/2/15	GERMEL BEGONOS	LOT

AKAI ESTATES
 SITE PLAN
 SHEET 3
 TOWN OF SOUTHWEST RANCHES, FLORIDA, SEC. 36-50-39

Drawn By: MDC Date: 08/28/14
 Checked By: JCT Date: 08/28/14
 Order No. 203183 PR 0000 Pg.00
 Drawing Status: Preliminary
 By: John C. Tello
 Asst. Vice Pres.
 Registered Engineer No. 71567
 State of Florida
 Scale: As Noted
 File No. B-977
 Dwg. No: S-4
 OF: 41

NOTE: Authentic copies of this drawing will bear the raised seal of the attesting Professional Engineer or Professional Land Surveyor.

REVISION	BY:
Δ 07/17/16	R.E.T
Δ 11/9/16	R.E.T

STO's
Member American Institute of Architects

GUSTAVO J. CARONELL, P.A.
Architect and Planner
1457 N.E. 4th Ave.
Ft. Lauderdale, Florida, 33304
(954) 462-6565

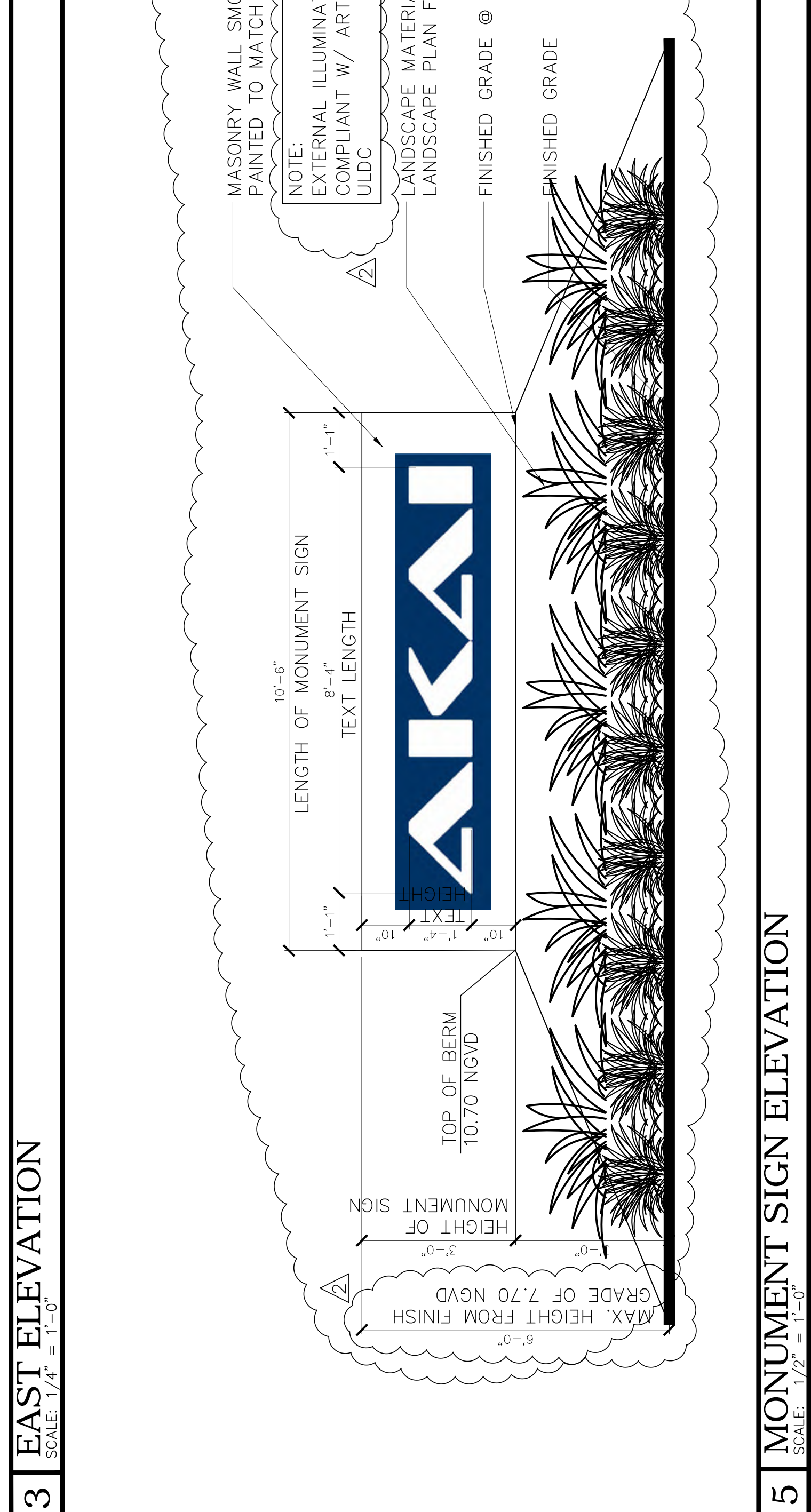
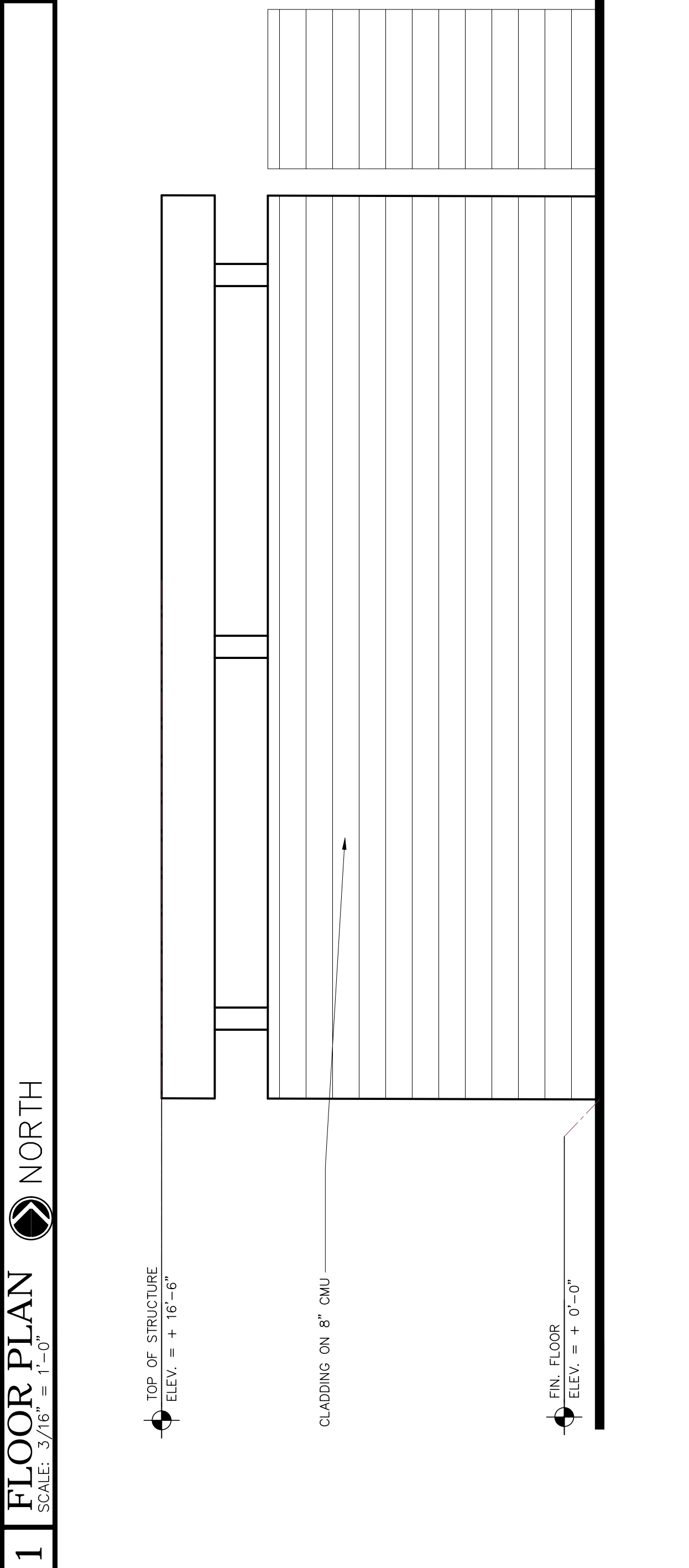
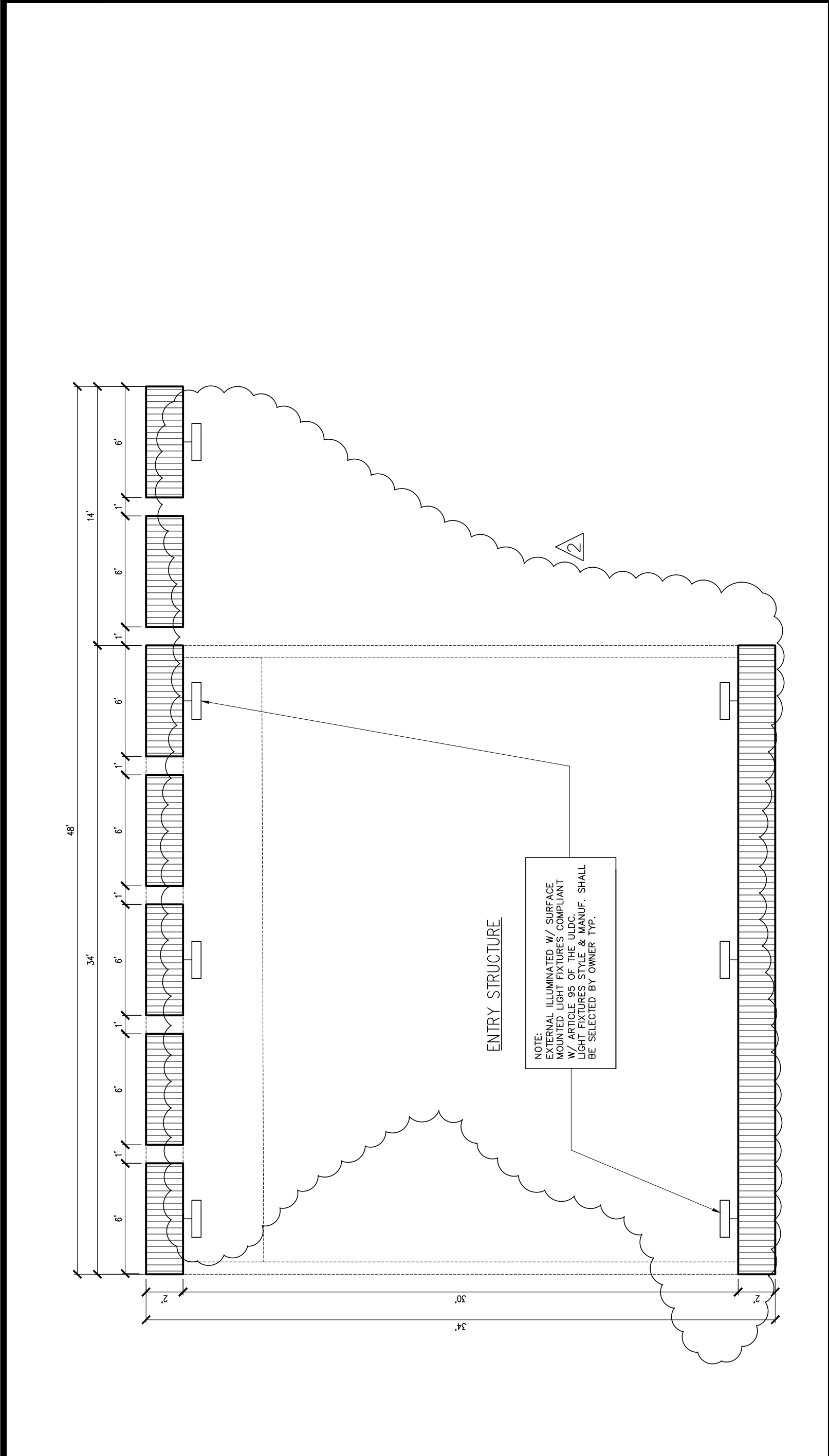
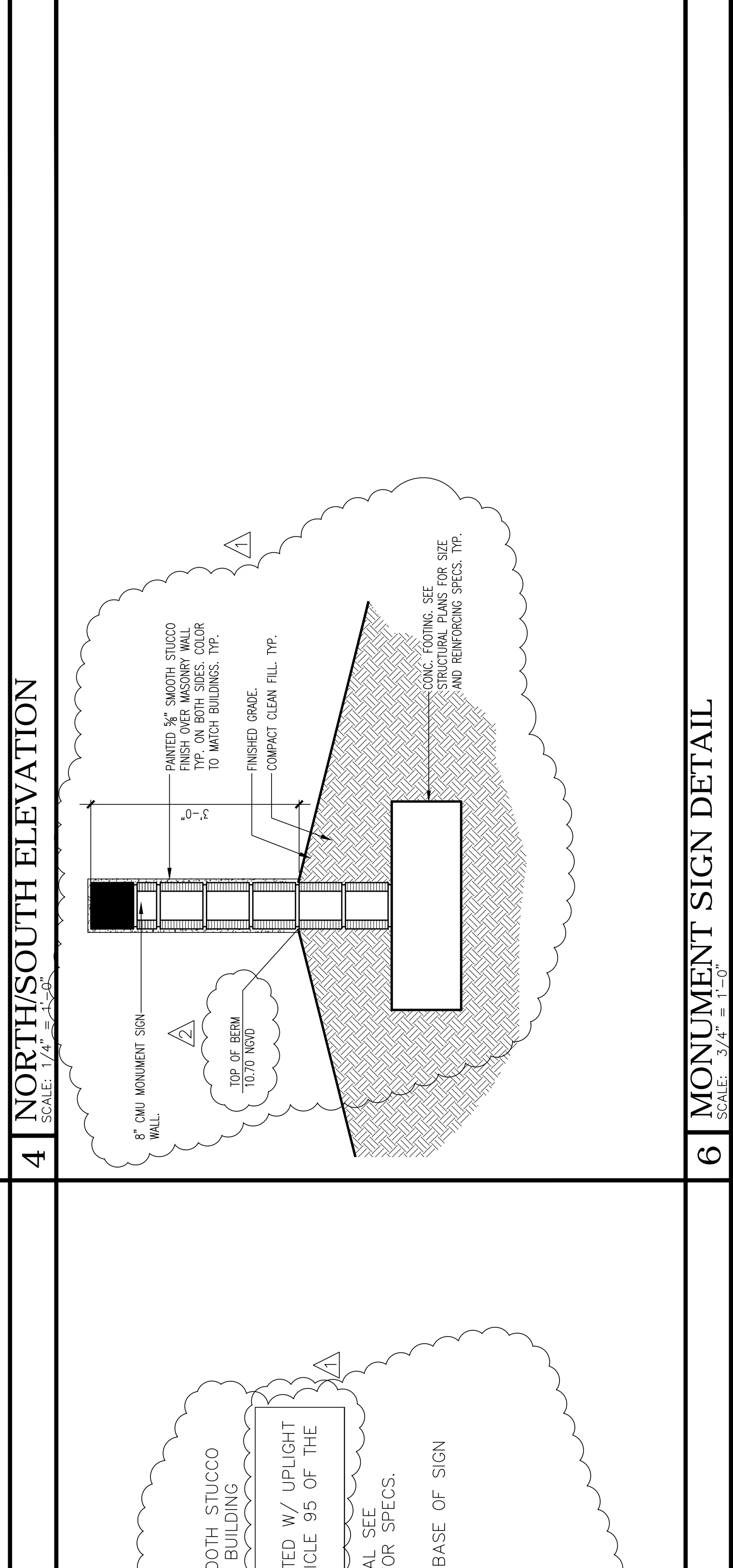
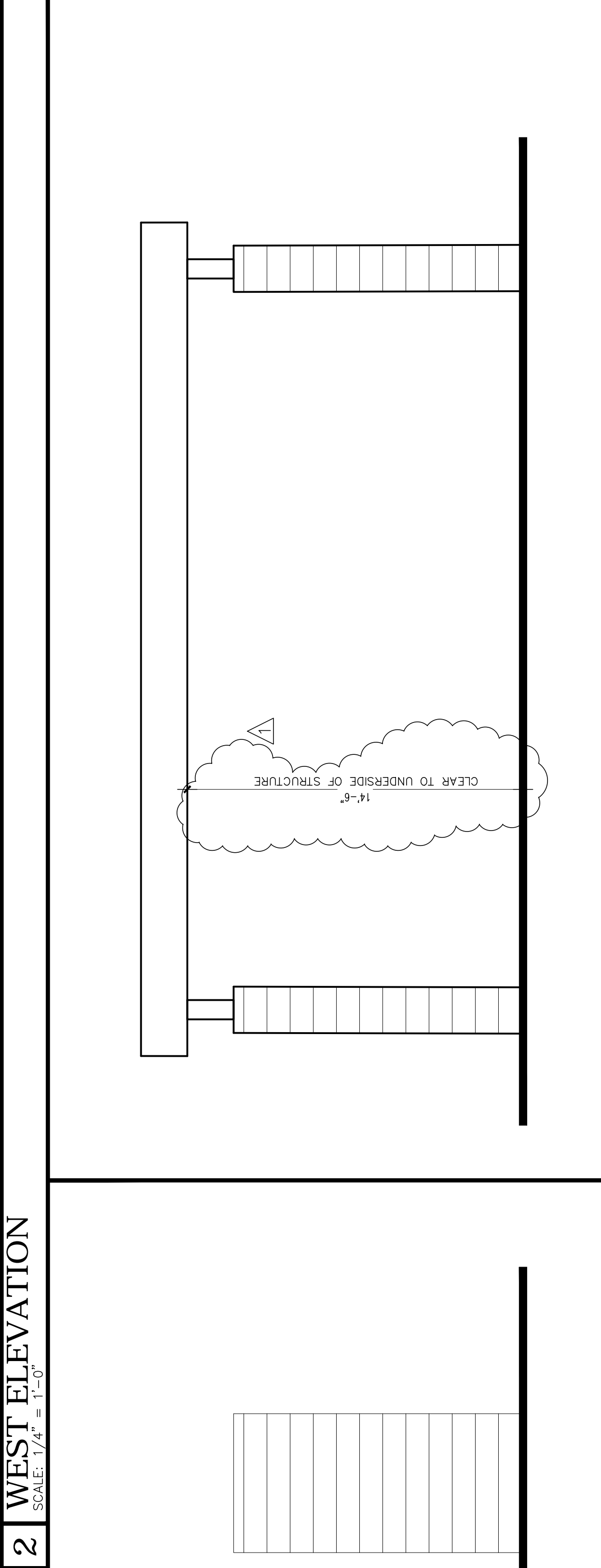
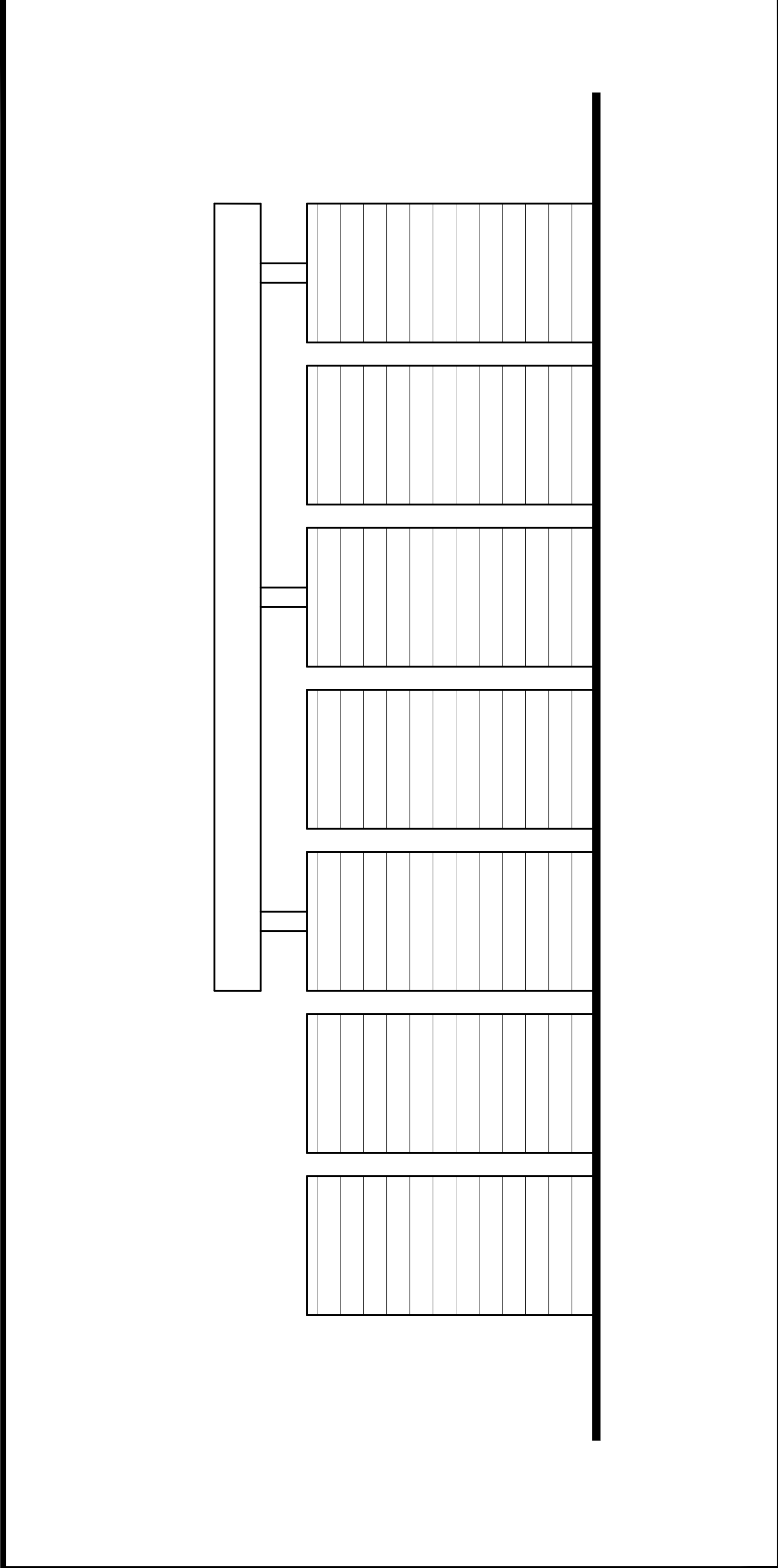
**SINGLE FAMILY DEV. FOR
DOWNEY RANCHES
GRIFFIN ROAD
TOWN OF SOUTHWEST RANCHES, FLORIDA**

SEAL: AS NO. 26079567
AS NO. 2600131
AX NO. 2600131

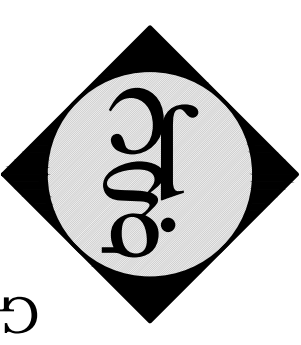
DRAWN	R.E.T
CHECKED	G.J.C.
DATE	12/20/2015
SCALE	AS NOTED
JOB NO.	14-017
SHEET	

A-4

OF SHEETS



REVISION	BY:
11/9/16	R.E.T



GUSTAVO J. CARBONELL, P.A.
 Architect and Planner
 1457 N.E. 4th Ave.
 Ft. Lauderdale, Florida, 33304
 (954) 462-6565
 Member American Institute of Architects

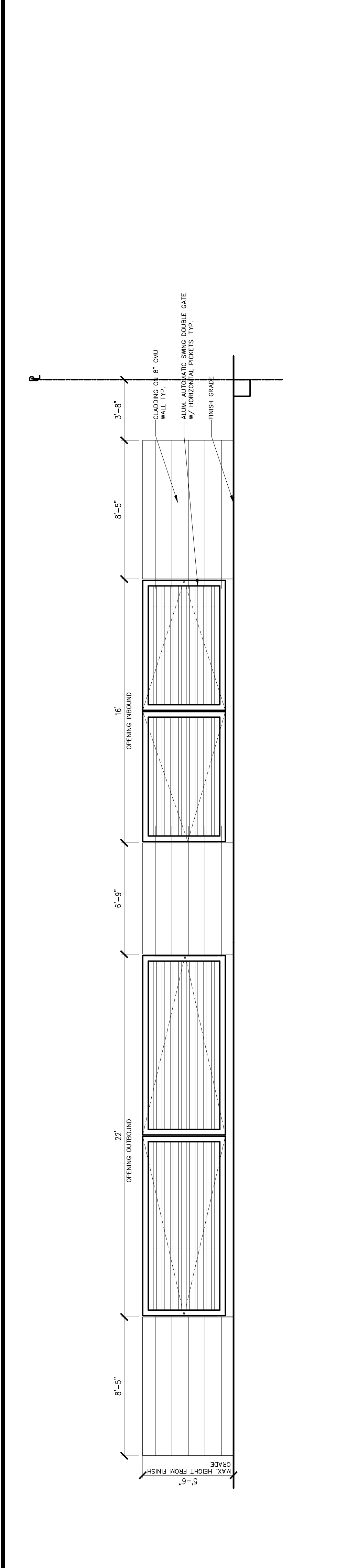
SINGLE FAMILY DEV. FOR
DOWNEY RANCHES
 GRIFFIN ROAD
 TOWN OF SOUTHWEST RANCHES, FLORIDA

SEAL: AS NO. 300797
 PA. NO. 2600131

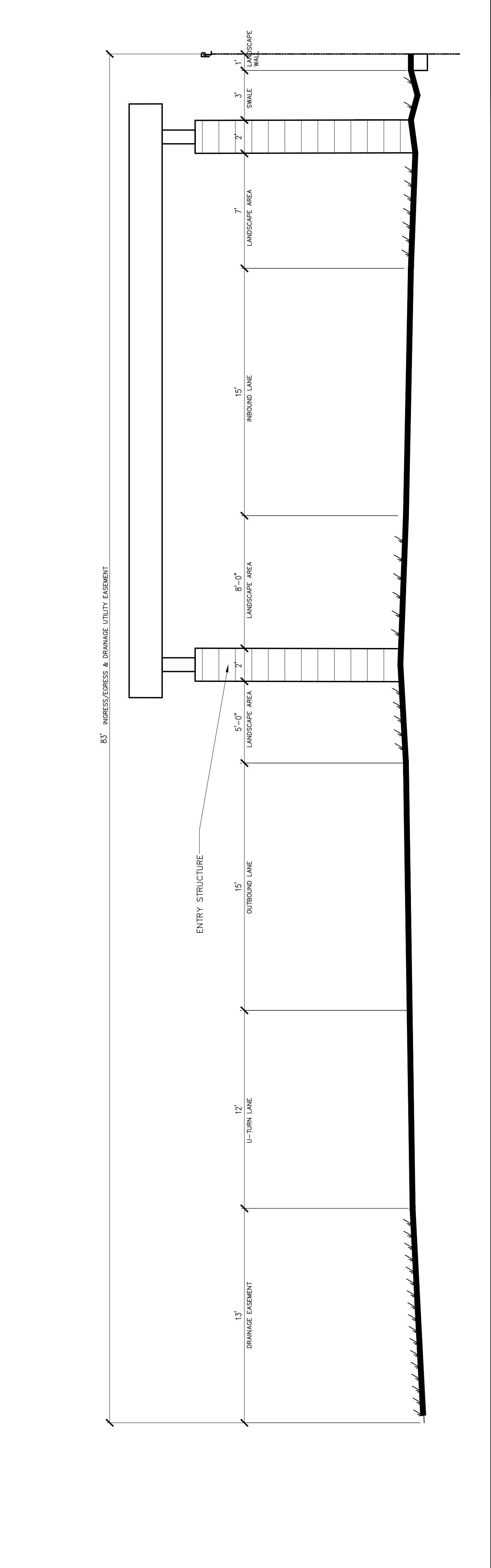
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CHECKED	G.J.C.
DATE	12/20/2015
SCALE	AS NOTED
JOB NO.	14-017
SHEET	

A-4.1

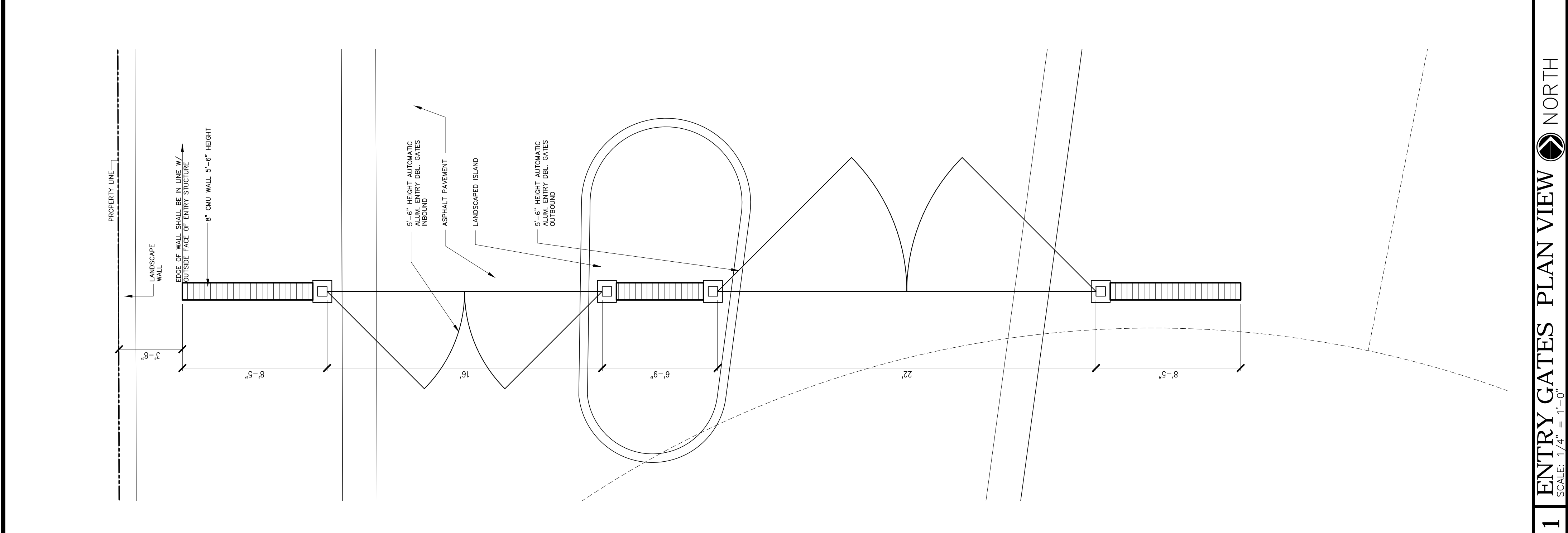
OF SHEETS



2 ELEVATION @ ENTRY GATES
SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION @ ENTRY STRUCTURE
SCALE: 1/4" = 1'-0"



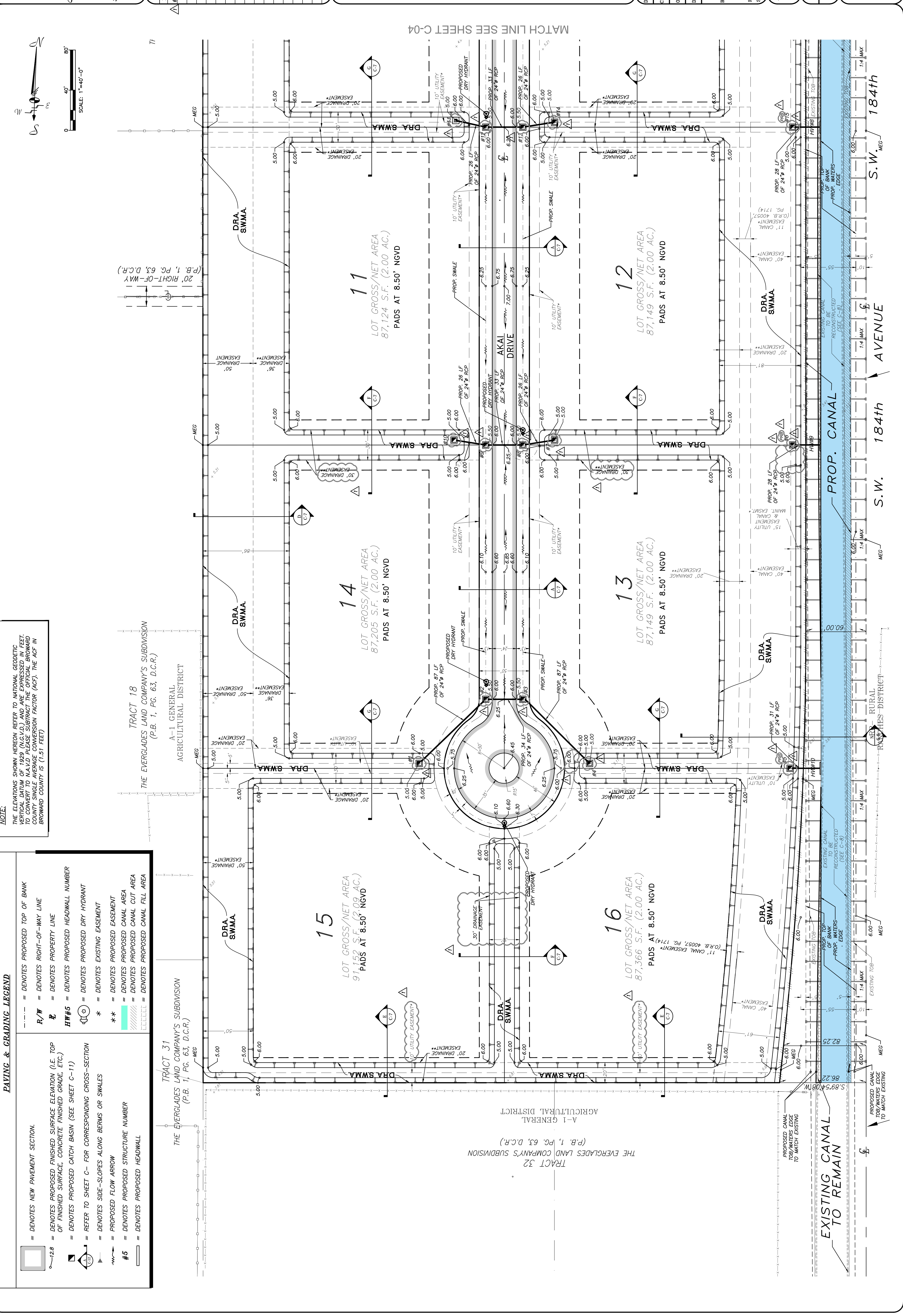
1 ENTRY GATES PLAN VIEW NORTH
SCALE: 1/4" = 1'-0"

Schwabe Shiskin & Associates, Inc.
 LAND SURVEYORS
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 LB#87 CA#87
 3340 CORPORATE WAY
 MIRAMAR, FL 33025
 TEL: (305)652-7010
 FAX: (305)652-8284

REVISIONS	Date	By	Remarks
	6/2/15	GENERAL	REVISION

AKAI ESTATES
 PAVING, GRADING AND DRAINAGE PLAN
 PLAN VIEW
 TOWN OF SOUTHWEST RANCHES, FLORIDA, SEC. 36-50-39

Drawn By: BP Date: 08/28/14
 Checked By: JCT Date: 08/28/14
 Order No: 203153 FR 0000 Pg.00
 Drawing Status: Preliminary
 By: John C. Tello
 Asst. Vice Pres.
 Registered Engineer No. 71567
 State of Florida
 Scale: As Noted
 File No. **B-1977**
 Dwg. No. **C-3**
 OF: 41



NOTE:
 THE ELEVATIONS SHOWN HEREON REFER TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D.) AND ARE EXPRESSED IN FEET. TO CONVERT TO N.A.S.D. PLEASE SUBTRACT THE OFFICIAL BROWARD COUNTY SINGLE AVERAGE CONVERSION FACTOR (ACF). THE ACF IN BROWARD COUNTY IS (1.51 FEET)

PAVING & GRADING LEGEND

- = DENOTES PROPOSED TOP OF BANK
- R/W = DENOTES RIGHT-OF-WAY LINE
- P = DENOTES PROPERTY LINE
- HW#5 = DENOTES PROPOSED HEADWALL NUMBER
- ⊙ = DENOTES PROPOSED DRY HYDRANT
- * = DENOTES PROPOSED EXISTING EASEMENT
- ** = DENOTES PROPOSED EASEMENT
- ▨ = DENOTES PROPOSED CANAL AREA
- ▨ = DENOTES PROPOSED CANAL CUT AREA
- ▨ = DENOTES PROPOSED CANAL FILL AREA

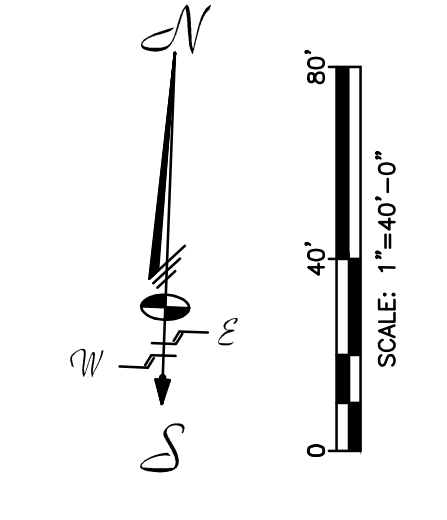
---12.8 = DENOTES NEW PAVEMENT SECTION.
 ---12.8 = DENOTES PROPOSED FINISHED SURFACE ELEVATION (I.E. TOP OF FINISHED SURFACE, CONCRETE FINISHED GRADE, ETC.)
 ---12.8 = DENOTES PROPOSED CATCH BASIN (SEE SHEET C-11)
 ---12.8 = REFER TO SHEET C- FOR CORRESPONDING CROSS-SECTION
 ---12.8 = DENOTES SIDE-SLOPES ALONG BERMS OR SWALES
 ---12.8 = PROPOSED FLOW ARROW
 #5 = DENOTES PROPOSED STRUCTURE NUMBER
 ---12.8 = DENOTES PROPOSED HEADWALL

TRACT 18
 THE EVERGLADES LAND COMPANY'S SUBDIVISION
 (P.B. 1, PG. 63, D.C.R.)
 A-1 GENERAL AGRICULTURAL DISTRICT

TRACT 31
 THE EVERGLADES LAND COMPANY'S SUBDIVISION
 (P.B. 1, PG. 63, D.C.R.)

TRACT 32
 THE EVERGLADES LAND COMPANY'S SUBDIVISION
 (P.B. 1, PG. 63, D.C.R.)

EXISTING CANAL TO REMAIN
 PROPOSED CANAL TO MATCH EXISTING
 PROPOSED CANAL TO MATCH EXISTING
 PROPOSED CANAL TO MATCH EXISTING



- PAVING & GRADING LEGEND**
- = DENOTES NEW PAVEMENT SECTION.
 - = DENOTES PROPOSED FINISHED SURFACE ELEVATION (I.E. TOP OF FINISHED SURFACE, CONCRETE FINISHED GRADE, ETC.)
 - = DENOTES PROPOSED CATCH BASIN (SEE SHEET C-11)
 - = REFER TO SHEET C- FOR CORRESPONDING CROSS-SECTION
 - = DENOTES SIDE-SLOPES ALONG BERMS OR SWALES
 - = PROPOSED FLOW ARROW
 - #5 = DENOTES PROPOSED STRUCTURE NUMBER
 - = DENOTES PROPOSED HEADWALL

- = DENOTES PROPOSED TOP OF BANK
- R/W = DENOTES RIGHT-OF-WAY LINE
- P = DENOTES PROPERTY LINE
- HW#5 = DENOTES PROPOSED HEADWALL NUMBER
- = DENOTES PROPOSED DRY HYDRANT
- * = DENOTES EXISTING EASEMENT
- ** = DENOTES PROPOSED EASEMENT
- = DENOTES PROPOSED CANAL AREA
- = DENOTES PROPOSED CANAL CUT AREA
- = DENOTES PROPOSED CANAL FILL AREA

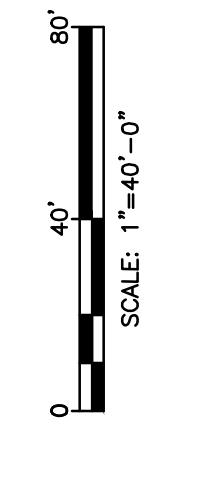
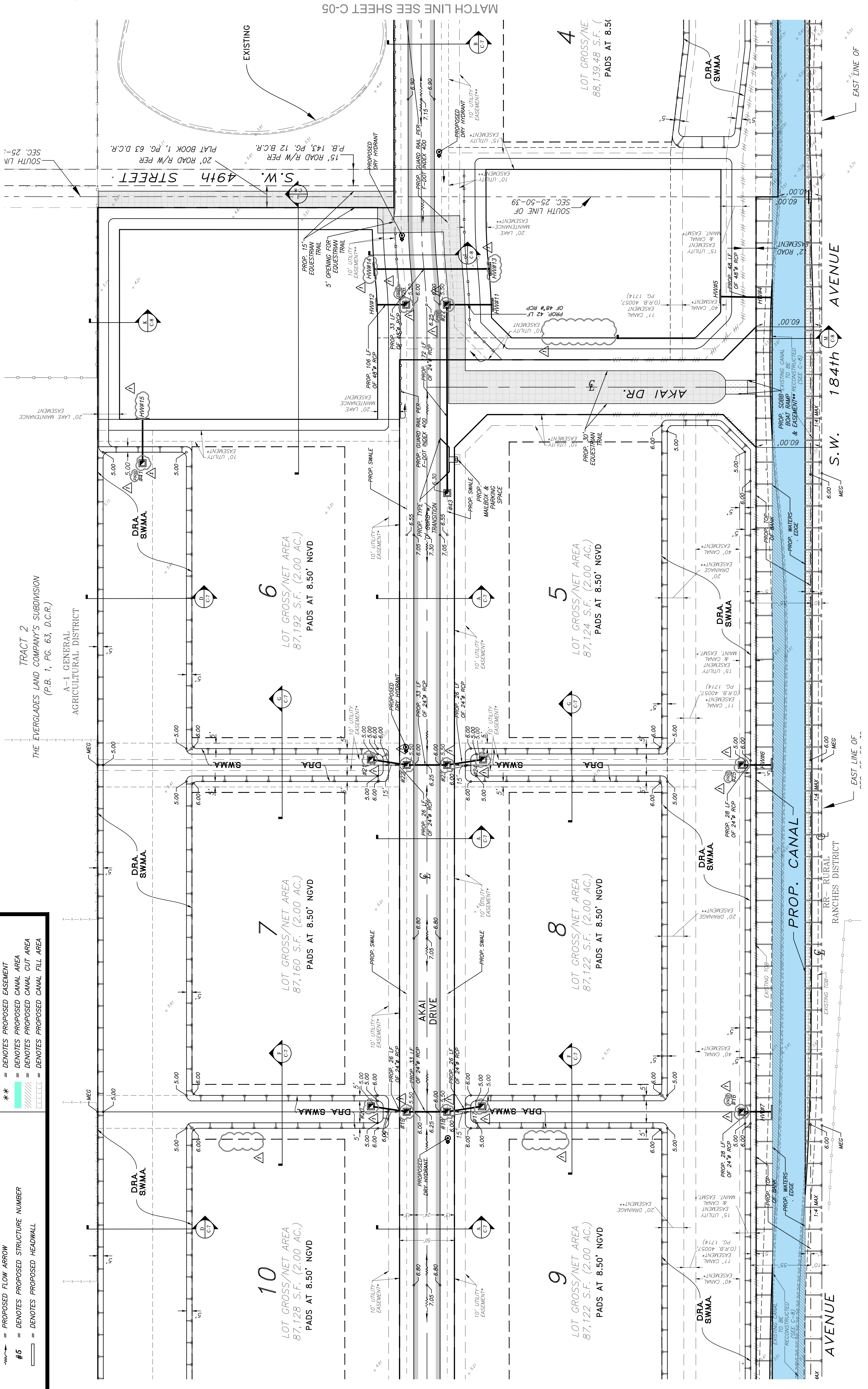
NOTE:
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Schwabke Shiskin & Associates, Inc.
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CIVIL ENGINEERS
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TEL: (305)652-7010
FAX: (305)652-8284

REVISIONS	Date	By	Remarks
1	6/2/15	GENERAL	REVISIONS

AKAI ESTATES
PAVING, GRADING AND DRAINAGE PLAN
PLAN VIEW
TOWN OF SOUTHWEST RANCHES, FLORIDA, SEC. 36-50-39

Drawn By: BP Date: 08/29/14
Checked By: JCT Date: 08/28/14
Order No: 203153 FR 0000 Pg. 00
Drawing Status: Preliminary
By: John C. Tello
Asst. Vice Pres.
Registered Engineer No. 71567
State of Florida
Scale: As Noted
File No. B-1977
Dwg. No. C-4
OF: 41



PAVING & GRADING LEGEND

	= DENOTES NEW PAVEMENT SECTION.
	= DENOTES PROPOSED FINISHED SURFACE ELEVATION (I.E. TOP OF FINISHED SURFACE, CONCRETE FINISHED GRADE, ETC.)
	= DENOTES PROPOSED CATCH BASIN (SEE SHEET C-11)
	= DENOTES SIDE-SLOPES ALONG BERMS OR SWALES
	= PROPOSED FLOW ARROW
	#5 = DENOTES PROPOSED STRUCTURE NUMBER
	= DENOTES PROPOSED HEADWALL
	R/W = DENOTES RIGHT-OF-WAY LINE
	P = DENOTES PROPERTY LINE
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	* = DENOTES PROPOSED DRY HYDRANT
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	*** = DENOTES PROPOSED CANAL AREA
	**** = DENOTES PROPOSED CANAL CUT AREA
	***** = DENOTES PROPOSED CANAL FILL AREA

NOTE:
THE ELEVATIONS SHOWN HEREON REFER TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D.) AND ARE EXPRESSED IN FEET. TO CONVERT TO N.A.S.D. PLEASE SUBTRACT THE OFFICIAL BROWARD COUNTY SINGLE AVERAGE CONVERSION FACTOR (ACF). THE ACF IN BROWARD COUNTY IS (1.51 FEET)

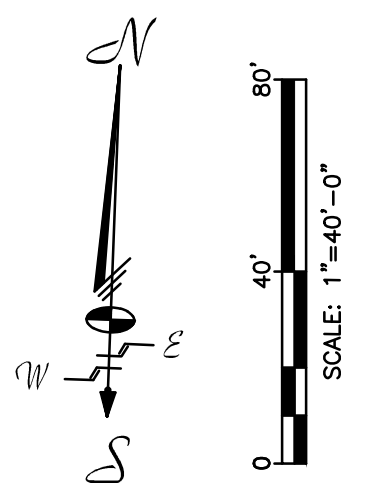
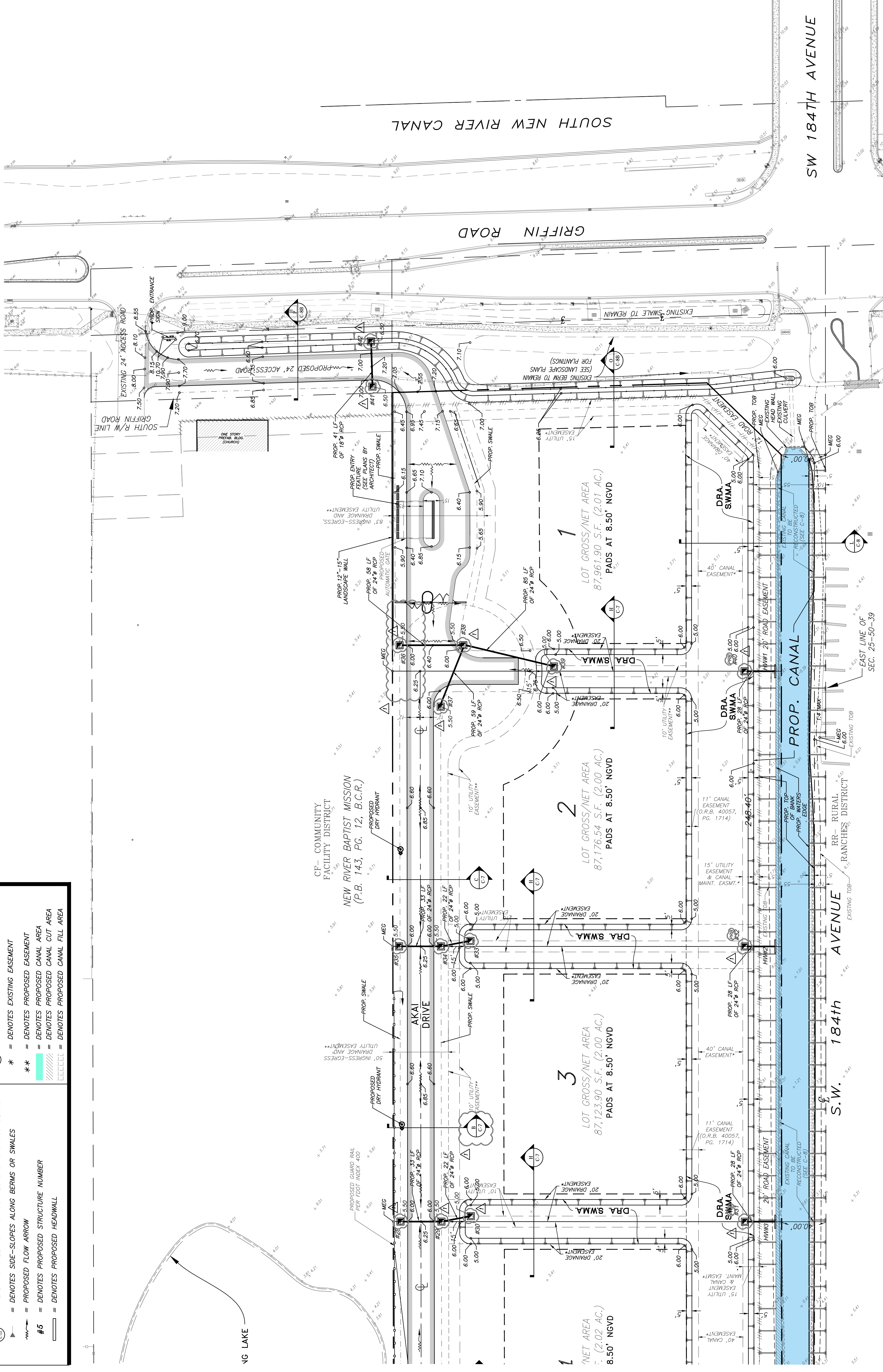
Schwabke Shiskin & Associates, Inc.
 LAND SURVEYORS
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 LAND PLANNERS
 LB#87 CA#87
 3340 CORPORATE WAY
 MIRAMAR, FL 33025
 TEL: (305)652-7010
 FAX: (305)652-8284

REVISIONS

Date	By	Remarks
6/1/15	GENERAL	REVISIONS

AKAI ESTATES
 PAVING, GRADING AND DRAINAGE PLAN
 PLAN VIEW
 TOWN OF SOUTHWEST RANCHES, FLORIDA, SEC. 36-50-39

Drawn By: BP Date: 08/29/14
 Checked By: JCT Date: 08/28/14
 Order No: 203153 FR 0000 Pg.00
 Drawing Status: Preliminary
 By: John C. Tello
 Asst. Vice Pres.
 Registered Engineer No. 71567
 State of Florida
 Scale: As Noted
 File No: B-1977
 Dwg. No: C-5
 OF: 41



MATCH LINE SEE SHEET C-05

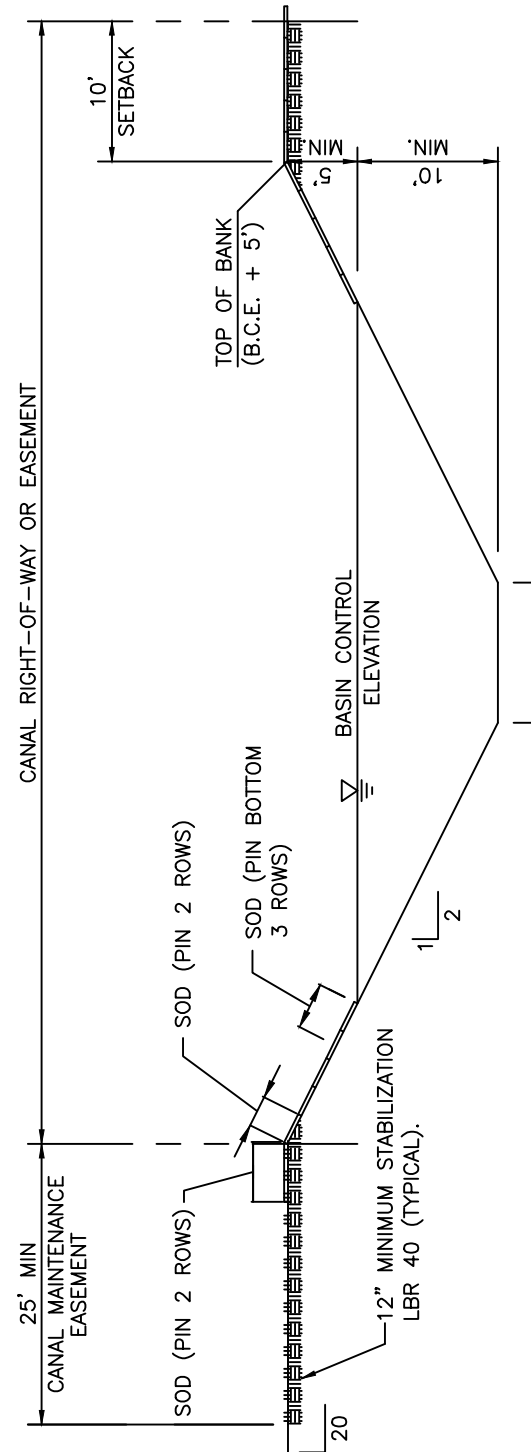
SW 184TH AVENUE

S.W. 184th Avenue

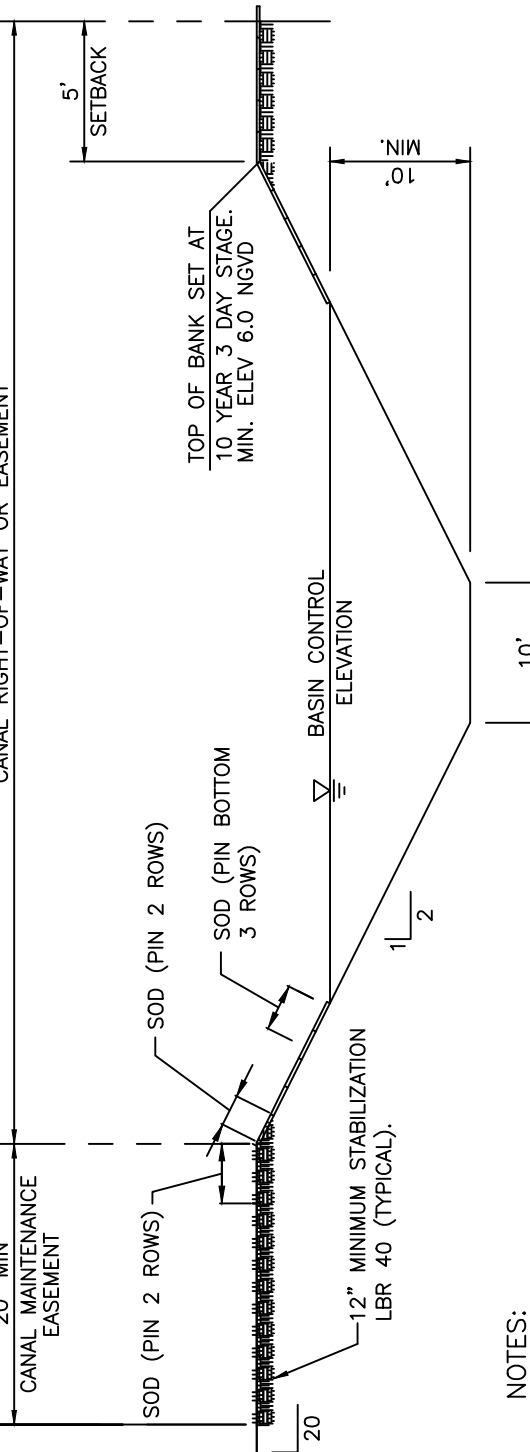
EAST LINE OF SEC. 25-50-39

GENERAL NOTES

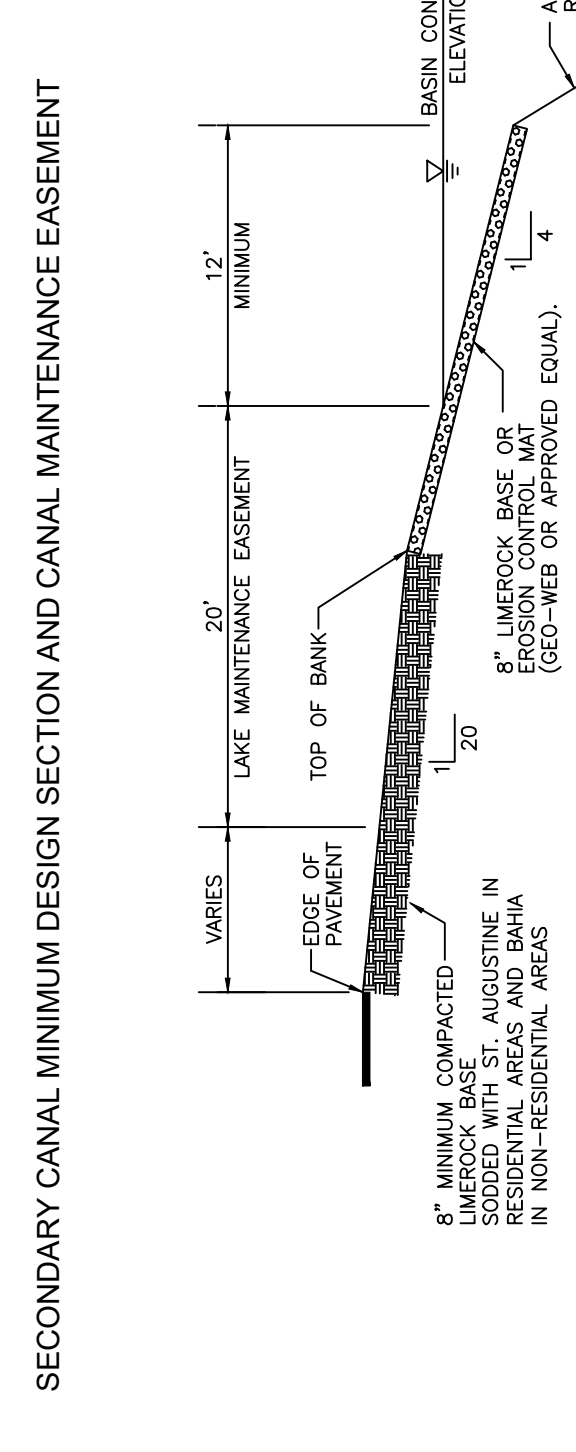
- THE FOLLOWING GENERAL NOTES ARE REQUIRED BY THE SOUTH BROWARD DISTRICT (SBD). THEY ARE NOT MEANT TO BE ALL INCLUSIVE. IT IS THE ENGINEER'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS FROM THE OWNER AND THE CONTRACTOR TO MEET ALL APPLICABLE REGULATORY REQUIREMENTS OF SBD.
- THE CONTRACTOR SHALL CONTACT SBD 48 HOURS OR TWO (2) WORKING DAYS PRIOR TO ANY REQUIRED INSPECTION. TO SCHEDULE INSPECTIONS, PLEASE CALL SBD AT (305) 652-7010. INSPECTIONS ARE FROM 8:00 AM TO 4:00 PM. MONDAY THROUGH FRIDAY EXCEPT HOLIDAYS.
- ANY REVISIONS TO PLANS CONTROLLING SBD MUST BE APPROVED BY THE DISTRICT ENGINEER PRIOR TO CONSTRUCTION.
- RECONSTRUCTION METHODS SHALL BE CHECKED AND YIELD AT LEAST PRC (6) DAYS PRIOR TO BEGINNING CONSTRUCTION.
- A SET OF SHOP DRAWINGS SHALL BE SUBMITTED TO SBD AFTER APPROVAL BY THE ENGINEER OF RECORD, PRIOR TO BEGINNING CONSTRUCTION.
- DURING CONSTRUCTION, SBD PERSONNEL WILL INSPECT THE FOLLOWING:
 - INSTALLATION OF ALL UNDERDRAINAGE FACILITIES BEFORE BACKFILL.
 - INSTALLATION OF ALL UNDERDRAINAGE FACILITIES BEFORE BACKFILL.
 - SHAPING OF CANAL AND LAKE BANKS FROM THE DEEP CUT TO THE UPDRAIN.
 - AND OTHER BANKS RELATED TO CONSTRUCTION WORK.
 - RE-INSPECTIONS, EXTRAORDINARY INSPECTIONS AND FINAL INSPECTIONS WILL BE SUBJECT TO ADDITIONAL FEE CHARGES BY SBD.
- THE CONTRACTOR CONSTRUCTING OR EXCAVATING LAKES OR OTHER WATER BODIES SHALL OBTAIN A SURVEY FROM A FLORIDA REGISTERED SURVEYOR OF THE LOCATION BY SBD. THE CONTRACTOR OR OWNER SHALL PERIODICALLY, OR AS REQUIRED, PERFORMED PRIOR TO THE OWNERS/CONTRACTOR BEGINNING CONSTRUCTION OF ANY BUILDING ADJACENT TO THE WATER BODY. IN THE EVENT THAT THE CONTRACTOR DISCOVERS ANY OBSTACLES OR CONDITIONS THAT MAY AFFECT THE PROPOSED SOLUTION TO CORRECT THE OBSTACLES, ANY SUGGESTED REMEDY OR CORRECTION MUST BE APPROVED BY SBD BEFORE THE CONTRACTOR BEGINS THE PROPOSED CORRECTION/REMEDY.
- PAVING AND DRAINAGE "AS-BUILT" PLANS CERTIFIED BY THE ENGINEER OF RECORD SHALL BE SUBMITTED TO SBD FOR REVIEW AND APPROVAL. AS-BUILT PLANS SHALL BE PROVIDED AS AN OVERLAY OF THE APPROVED CONSTRUCTION DRAWINGS AND AT THE SAME SCALE AS ORIGINALLY SUBMITTED. AS-BUILT SUBMITTALS SHALL CONFORM TO THE REQUIREMENTS PROVIDED IN ELECTRONIC FORMAT.
- AS-BUILT DRAWINGS OF WATER BODIES SHALL INCLUDE THE DATA REQUIRED UNDER EXHIBIT 39 OF SBD'S CRITERIA MANUAL. THE AS-BUILT DRAWINGS SHALL BE PROVIDED AT ALL USUAL PIPES CONSTRUCTED WITHOUT HEADWALL.
- SBD WILL NOT COMPLETE THE FINAL INSPECTION UNTIL RECEIPT OF THE AS-BUILT PACKAGE WHICH MUST INCLUDE THE ENGINEER'S CERTIFICATION AND TEST RESULTS FOR SUBMISSION OF LAKE/CANAL MAINTENANCE DOCUMENTS, ARE REQUIRED.



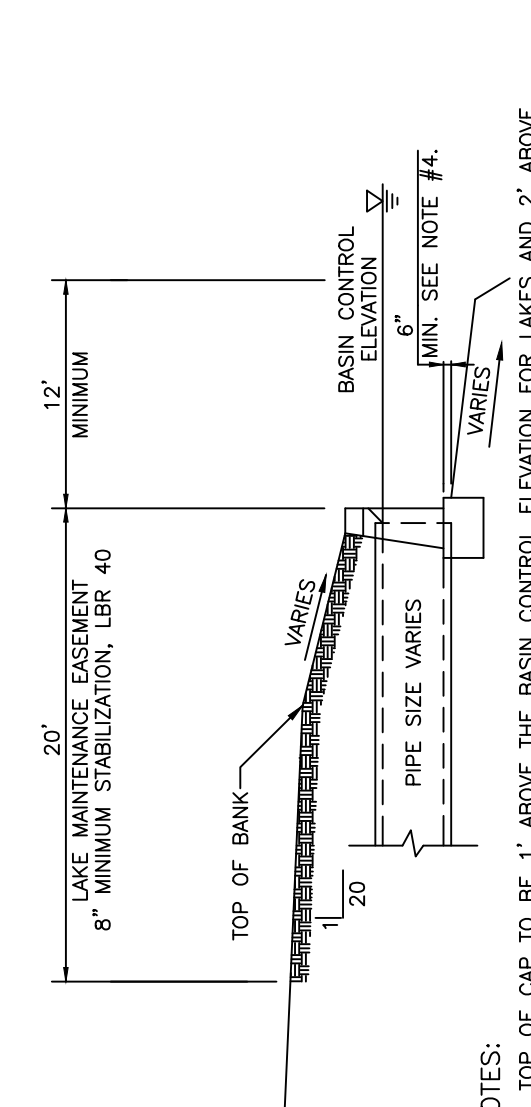
- NOTES:**
- CANALS MUST HAVE A MINIMUM DEPTH OF 10" FROM CONTROL ELEVATION TO BOTTOM OF EXCAVATION.
 - MINIMUM CANAL BOTTOM IS 10" WIDE.
 - ALL PROPERTIES ADJACENT TO THE CANAL MUST SLOPE BANKS SOD AND PROVIDE AS-BUILTS TO THE ABOVE DESIGN.
 - THERE SHALL BE NO MUCK WITHIN THE CANAL.
 - SOD PINS MUST BE WOOD.



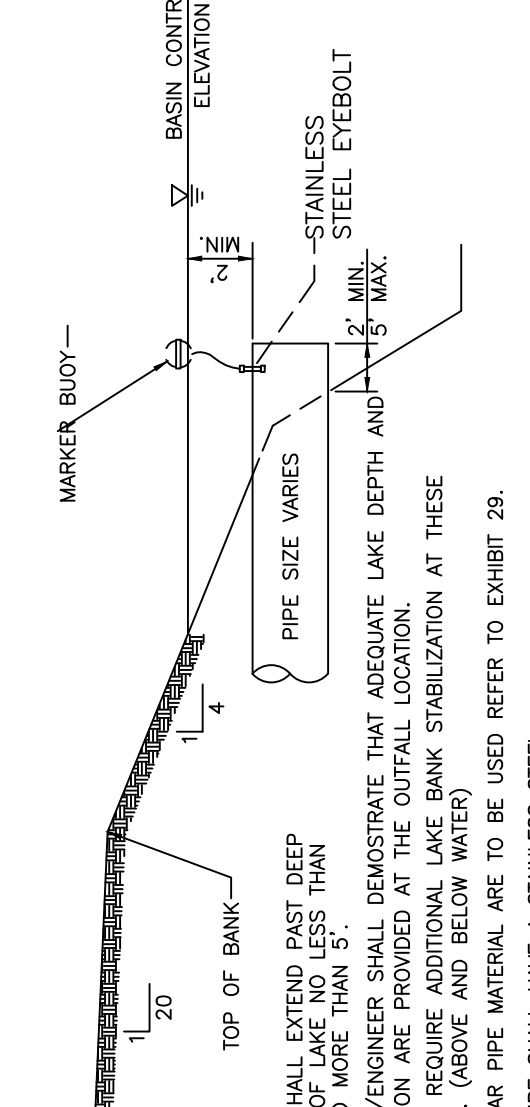
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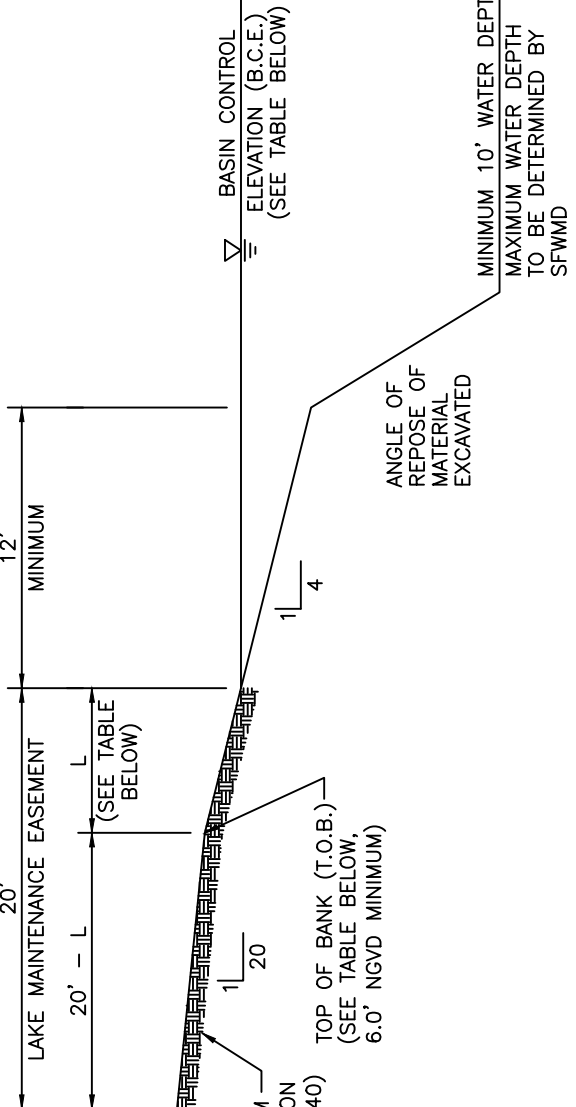
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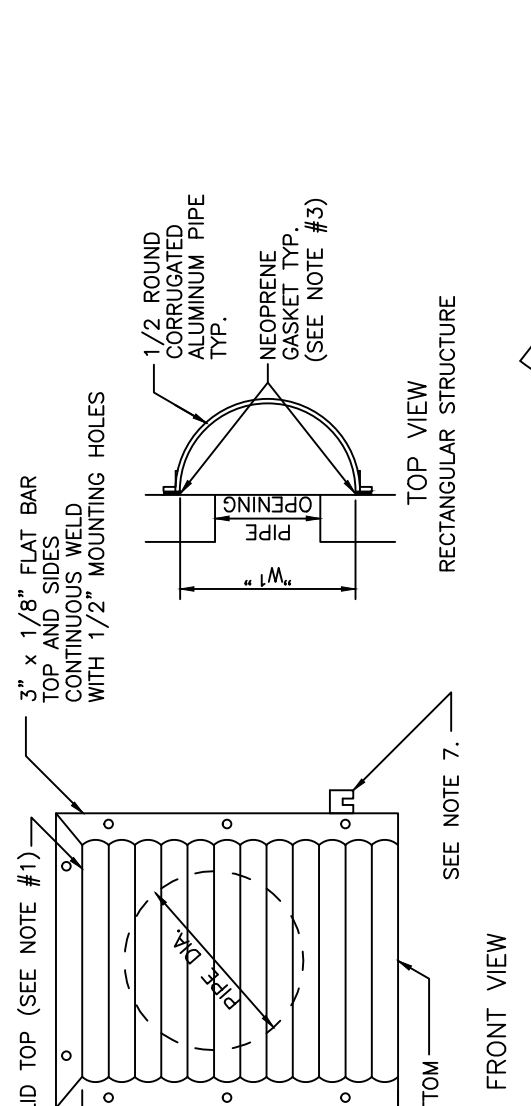
- NOTES:**
- TOP OF CAP TO BE 1" ABOVE THE BASIN CONTROL ELEVATION FOR LAKES AND 2" ABOVE FOR CANALS.
 - HEADWALLS BE REQUIRED FOR ALL LAKE AND CANAL INTERSECTIONS.
 - CONCRETE AND BR-RAP HEADWALLS ARE ACCEPTED PER FOOT INDEX 250-255 AND INDEX 258 WITH EXCEPTIONS AS NOTED IN SECTION 3.7.7 OF THE SBD DESIGN CRITERIA MANUAL.
 - CHANNEL IN FRONT OF PIPE TO BE MIN 6" BELOW THE INNER OF THE PIPE AND AT LEAST 1 1/2 TIMES THE DIA. OF THE PIPE TO THE DEEP CUT LINE AND CENTERED ON THE PIPE.
 - FACE OF HEADWALL TO BE LOCATED AT DESIGN EDGE OF WATER.



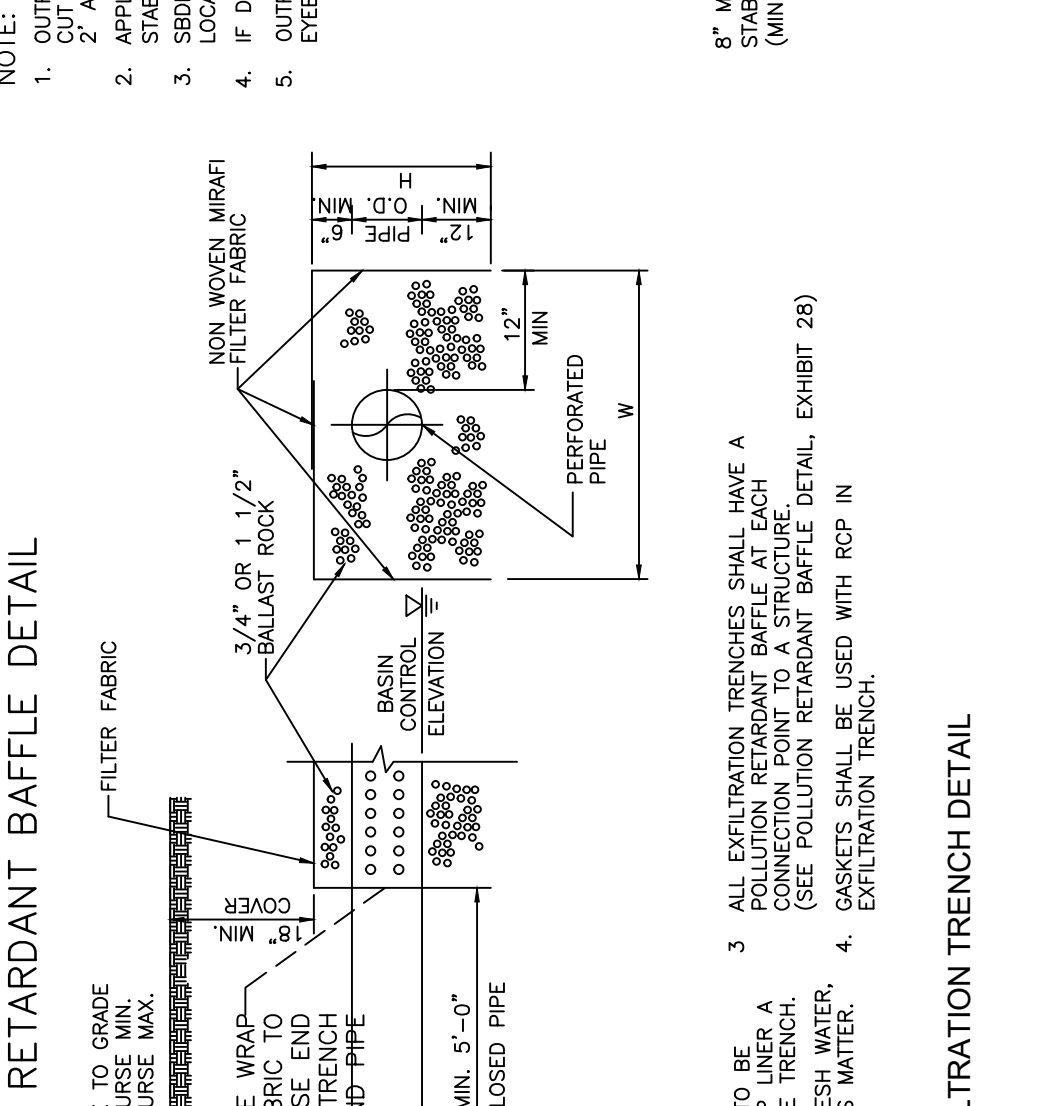
- NOTE:**
- OUTFALL SHALL EXTEND PAST DEEP CUT LINE OF LAKE OR CANAL TO BE AT LEAST 10' FROM THE DEEP CUT LINE.
 - APPLICATOR/ENGINEER SHALL DEMONSTRATE THAT ADEQUATE LAKE DEPTH AND STABILIZATION ARE PROVIDED AT THE OUTFALL LOCATION.
 - SBD MAY REQUIRE ADDITIONAL LAKE BANK STABILIZATION AT THESE LOCATIONS. (ABOVE AND BELOW WATER)
 - IF DISSIMILAR PIPE MATERIAL ARE TO BE USED REFER TO EXHIBIT 29, EROSION AND MARKER BUOY.



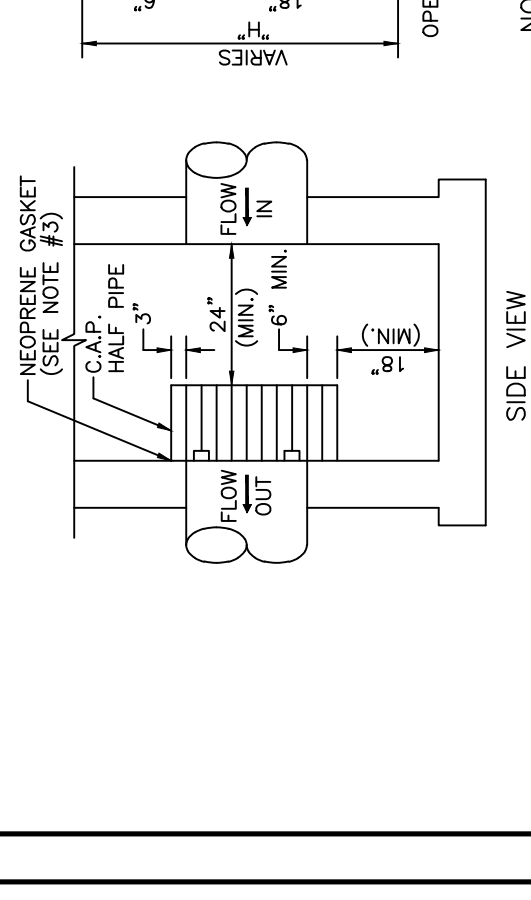
BASIN No.	B.C.E. (FT-NGVD)	T.O.B. (FT-NGVD)	L (FT)	BASIN (FT-NGVD)(FT-NOVD)	L (FT)	T.O.B. (FT)
S-1	2.50	6.50	16.00	S-8	6.00	10.00
S-2 & S-7	2.70	6.00	13.20		4.00	6.50
S-3	3.00	6.50	14.00	S-9 & S-10	3.50	12.00
S-4	3.50	6.00	10.00		4.00	6.50
S-5	4.00	6.00	8.00	S-12	3.00	14.00
	4.25	6.50	9.00	S-13	3.00	6.50
	4.50	6.50	8.00			



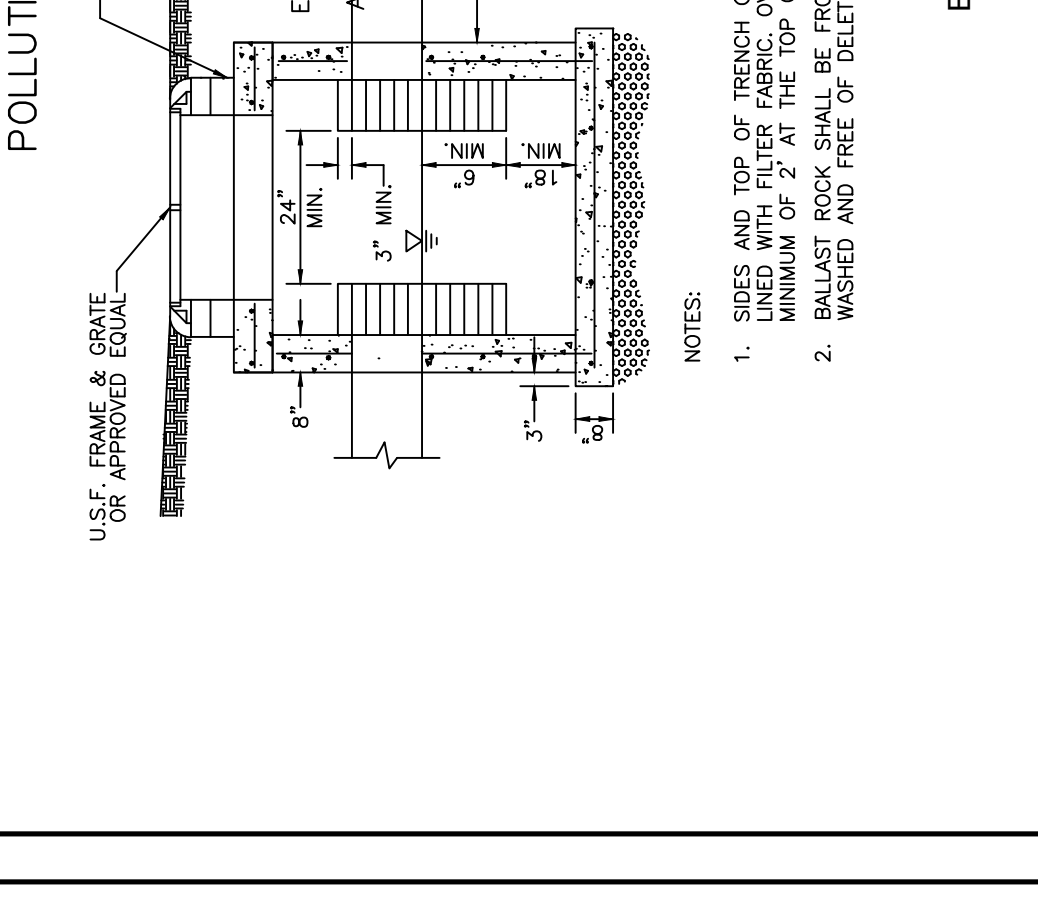
- NOTES:**
- ALUMINUM SHEET OF SAME THICKNESS (GAUGE) AS PIPE SHALL BE WELDED TO CLOSE OPENING AT THE TOP.
 - NEOPRENE ADHESIVE GASKET OR APPROVED EQUIVALENT SHALL BE INSTALLED ON THE SIDES AND TOP OF ALL BAFFLES.
 - POLLUTION RETARDANT BAFFLE TO BE FASTENED IN PLACE WITH 3/8" DIA. STAINLESS STEEL 'RED HEADS'.
 - ALL EXFILTRATION TRENCHES SHALL HAVE A POLLUTION RETARDANT BAFFLE AT EACH CONNECTION POINT TO A STRUCTURE (SEE EXFILTRATION TRENCH DETAIL).
 - REINFORCING BARS SHALL BE A MIN. OF 12" BELOW C.W.E.
 - FIBERGLASS BAFFLES ARE NOT PERMITTED.
 - MOUNTING BRACKETS MAY BE ADDED TO FLAT BARS TO MATCH HOLES IN FLAT BARS.
 - FOR POLLUTION RETARDANT BASINS THE BOTTOM ELEVATION OF THE BAFFLE MUST BE A MINIMUM OF 2" BELOW THE CONTROL ELEVATION.



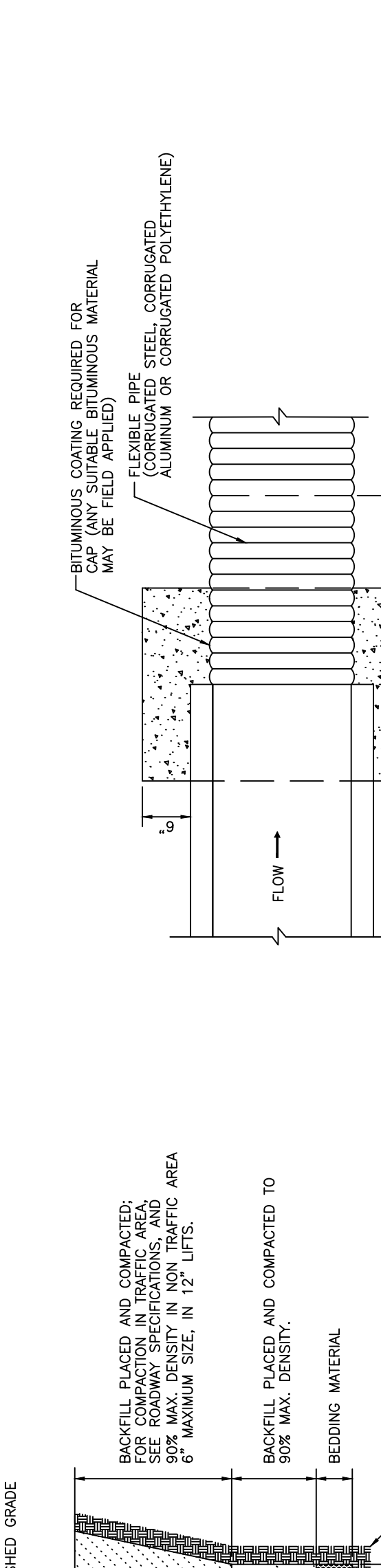
- NOTES:**
- SIZES AND TOP OF TRENCH ONLY TO BE POLLUTION RETARDANT BAFFLE AT EACH CONNECTION POINT TO A STRUCTURE (SEE EXFILTRATION TRENCH DETAIL, EXHIBIT 28).
 - BALLAST ROCK SHALL BE FROM FRESH WATER, WASHED AND FREE OF TELEGRAPHIC MATERIAL.
 - GASKETS SHALL BE USED WITH RCP IN EXFILTRATION TRENCH.



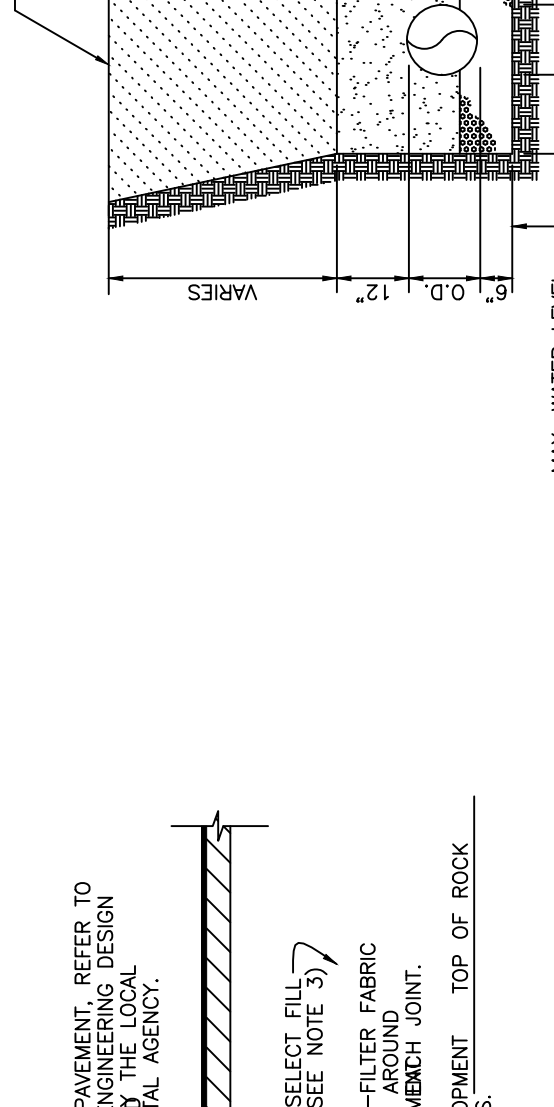
- NOTES:**
- RISER SECTIONS AND TOP SLABS TO HAVE 'KEY-CUTS'.



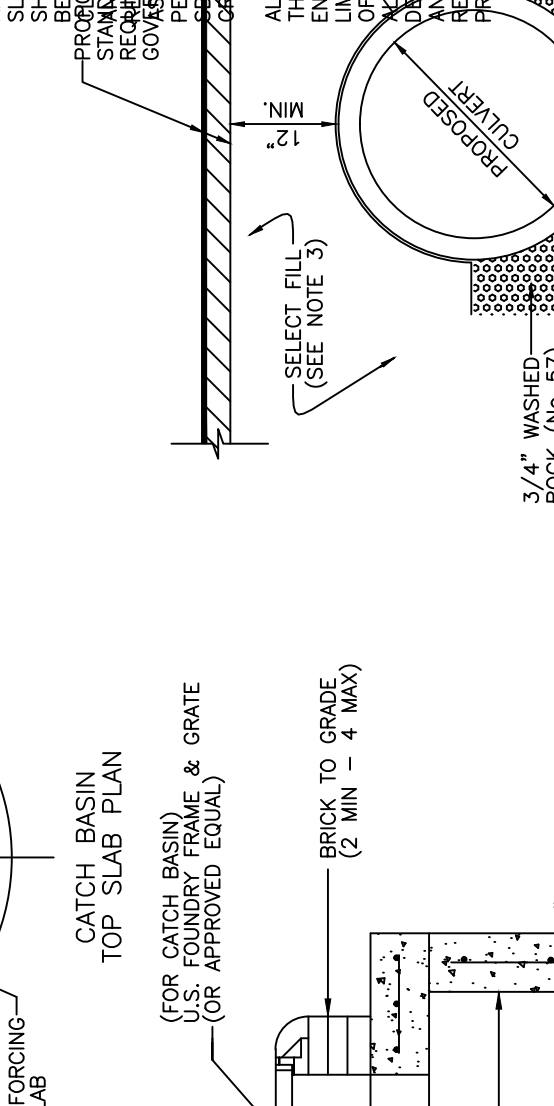
- NOTES:**
- WHERE SOIL CONDITION CANNOT BE MAINTAINED AS SHOWN ABOVE, PROVIDE APPROVED MEANS OF CONSTRUCTION.
 - ACCORDANCE WITH THE LOCAL GOVERNMENTAL AGENCY.
 - MUCK OR OTHER UNSUITABLE MATERIAL SHALL BE COMPLETELY REMOVED.
 - WHEN FILL AND GRAVEL ARE USED, THE REFINED MATERIAL SHALL BE COMPACTED TO 90% OF THE MAXIMUM DRY DENSITY DETERMINED BY THE STANDARD ENGINEERING DESIGN.
 - JOINTS MAY BE REQUIRED TO BE WRAPPED AT THE DISCRETION OF THE DISTRICT AND THE SITE CONDITIONS.



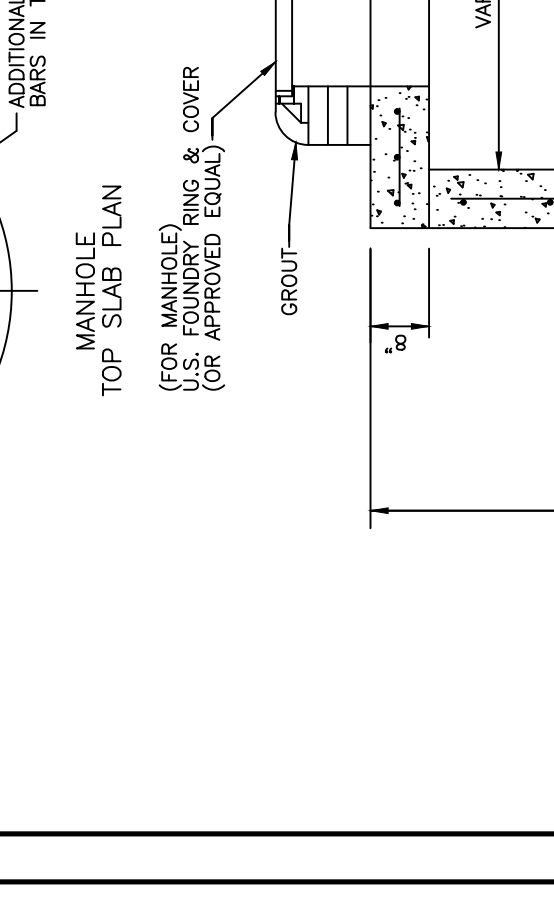
- NOTES:**
- CONCRETE JACKET SHALL NOT BE USED TO JOIN:
 - METAL PIPE WHEN THE MAXIMUM COVER REQUIRED IN DIAMETER, NO ROCKS OR STONES LARGER THAN 6" IN DIAMETER, ARE USED TO FILL THE REMAINING BACKFILL.
 - OPTIONAL FOR LAKE OR CANAL OUTFALL. JACKET SHALL BE CENTERED 8' LANDWARD OF THE BASIN CONTROL ELEVATION.
 - PER FOOT INDEX 280



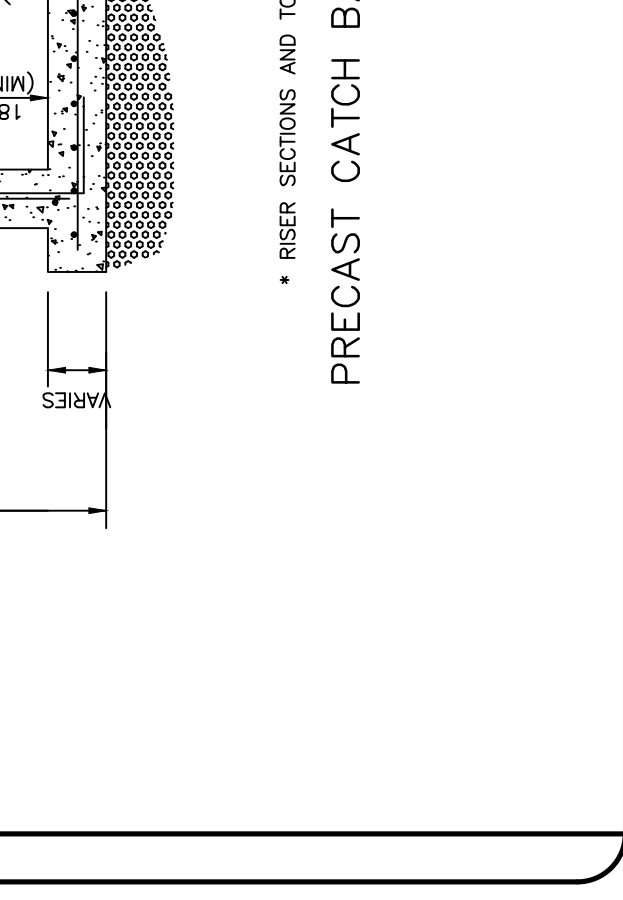
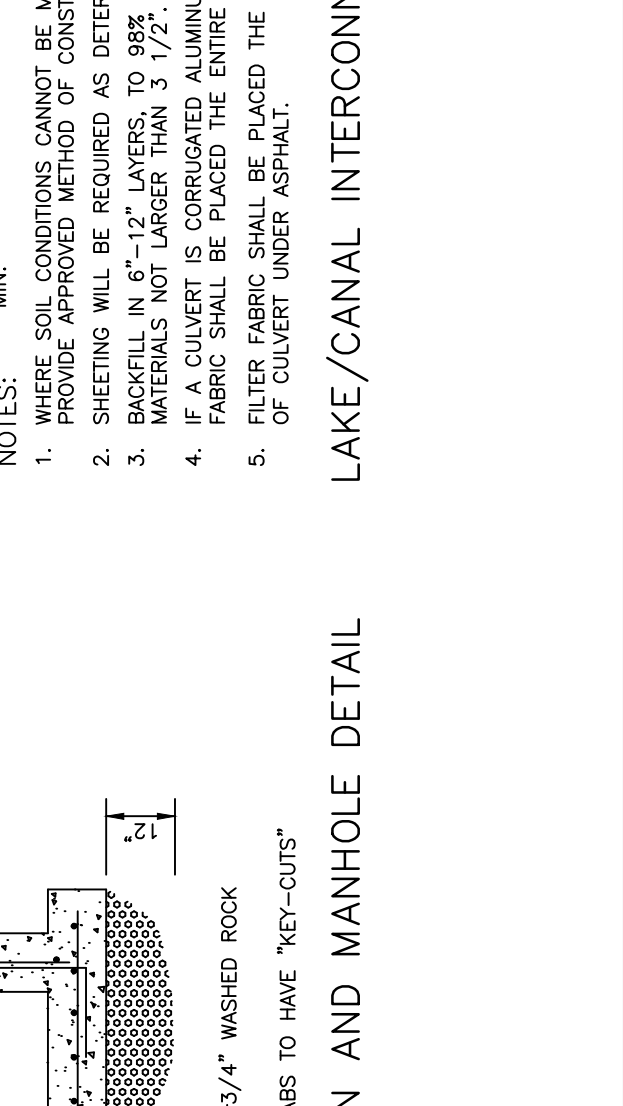
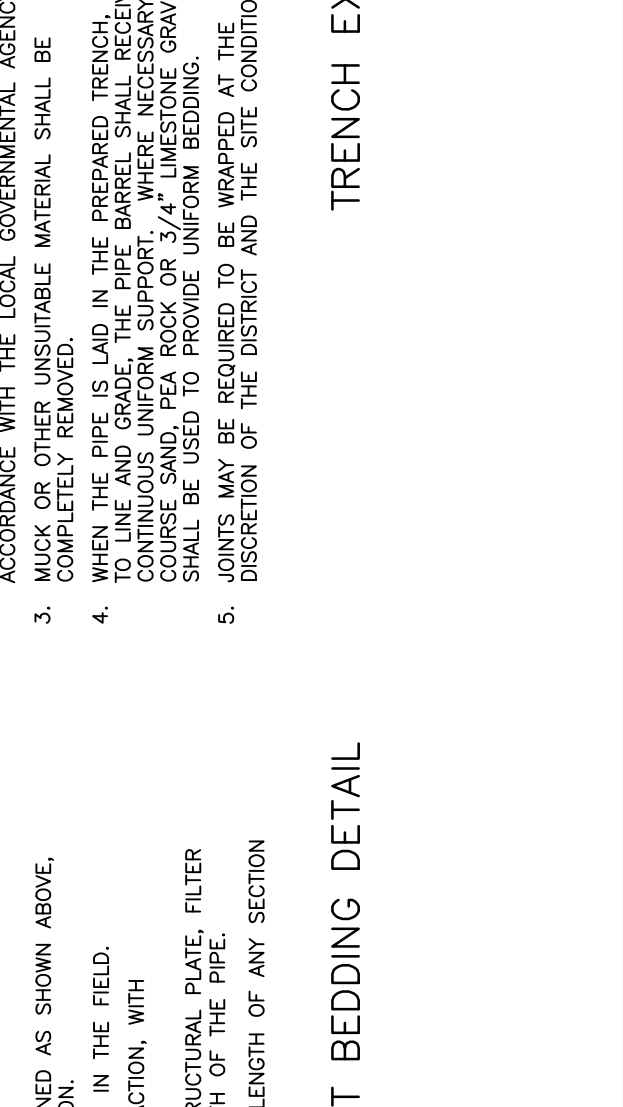
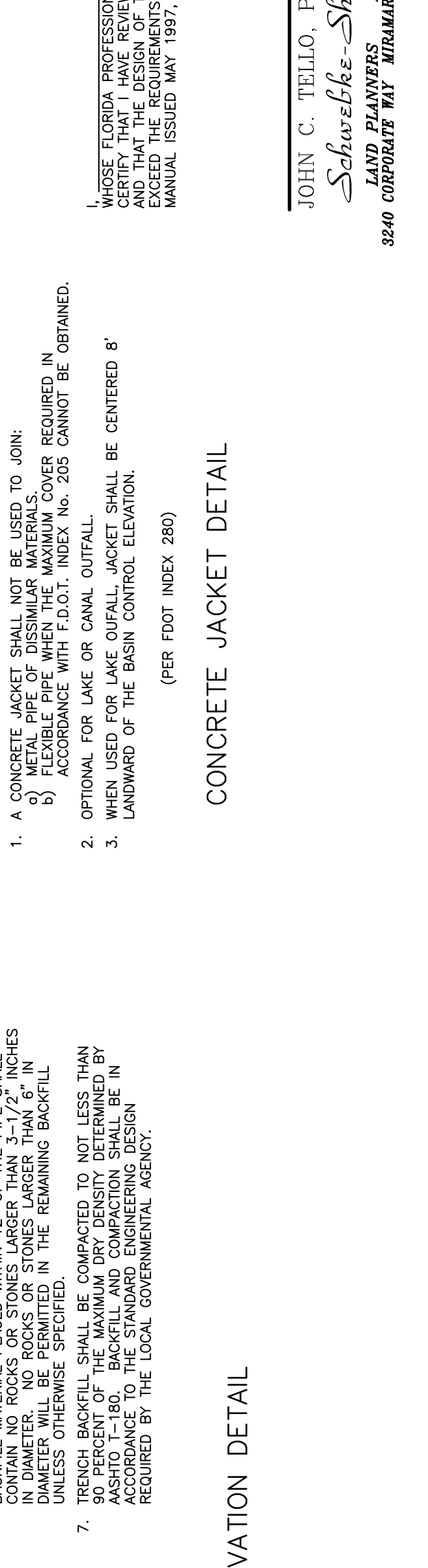
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- NOTES:**
- WHERE SOIL CONDITIONS CANNOT BE MAINTAINED AS SHOWN ABOVE, PROVIDE APPROVED METHOD OF CONSTRUCTION.
 - SHEETING WILL BE REQUIRED AS DETERMINED IN THE FIELD.
 - MATERIALS NOT LARGER THAN 3/4" COMPACTED WITH 90% OF THE MAXIMUM DRY DENSITY DETERMINED BY THE STANDARD ENGINEERING DESIGN.
 - IF A CULVERT IS CORRUGATED ALUMINUM STRUCTURAL PLATE, FILTER FABRIC SHALL BE PLACED THE ENTIRE LENGTH OF THE PIPE.
 - IF CULVERT SHALL BE PLACED THE FULL LENGTH OF ANY SECTION OF CULVERT UNDER ASPHALT.



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AKAI ESTATES

PAYING, GRADING AND DRAINAGE PLAN

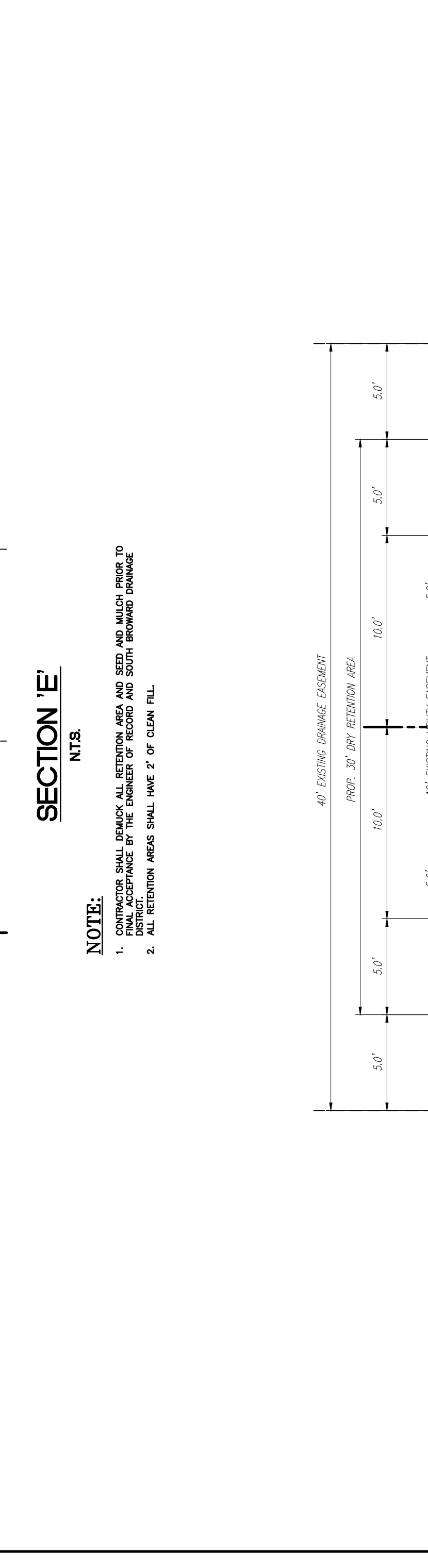
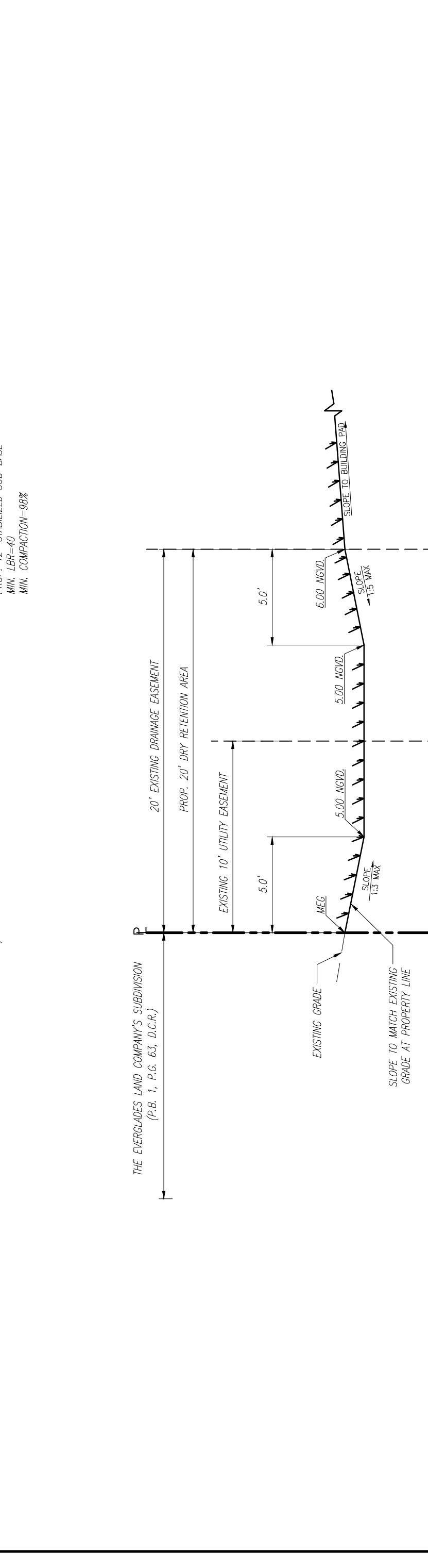
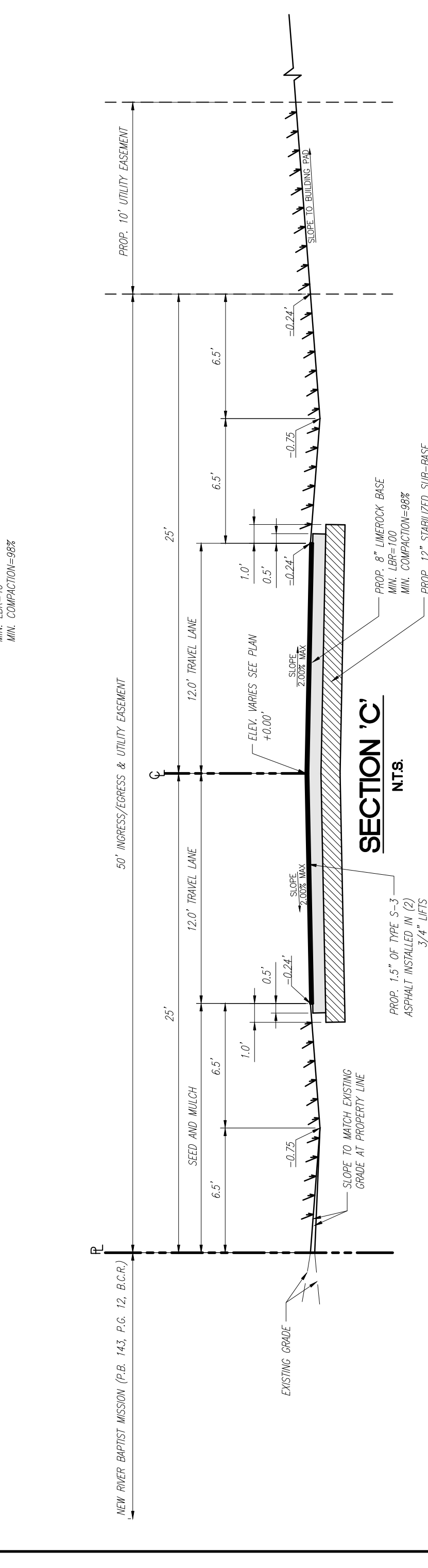
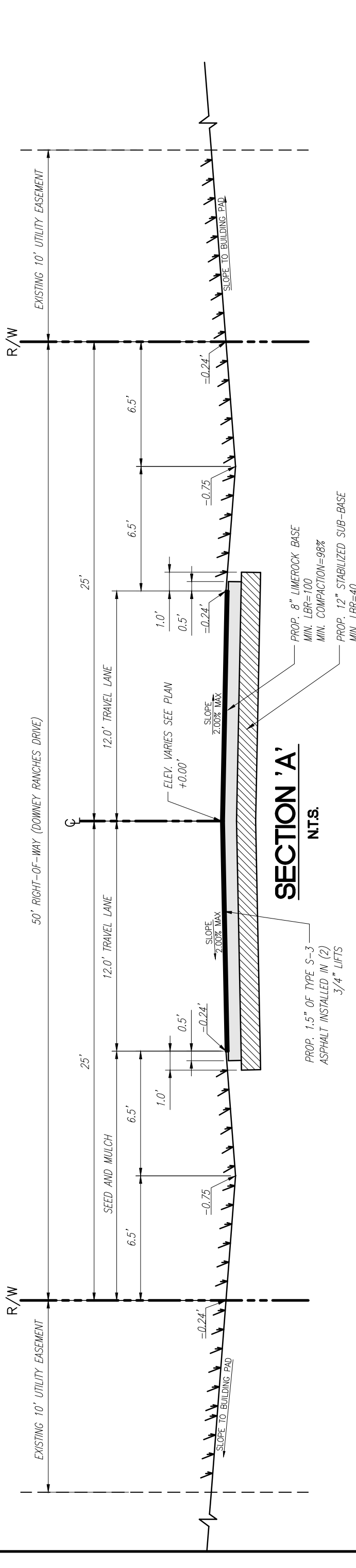
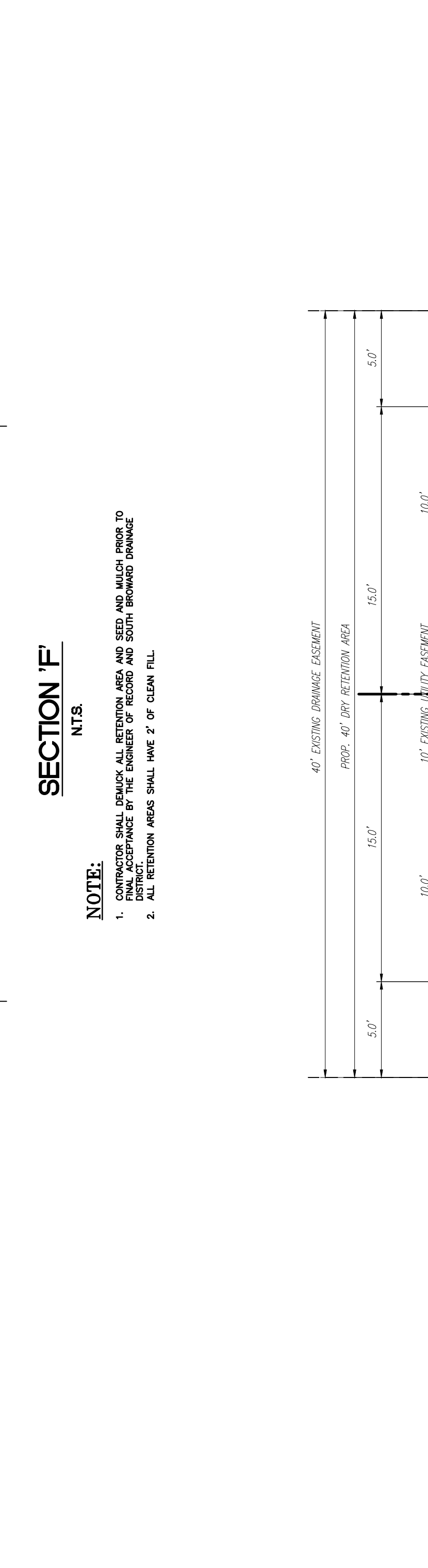
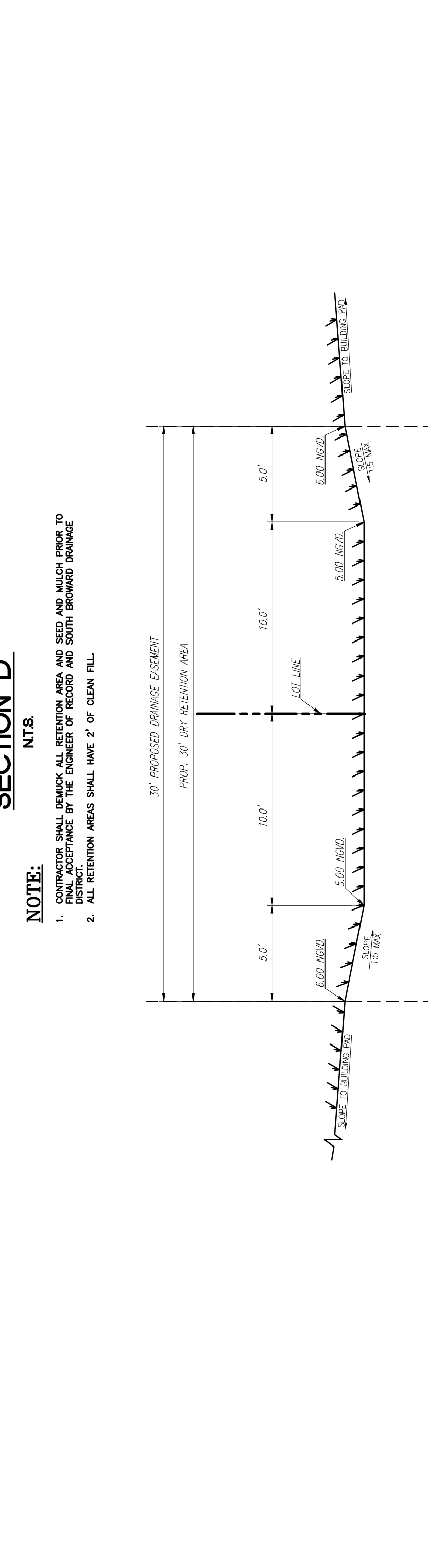
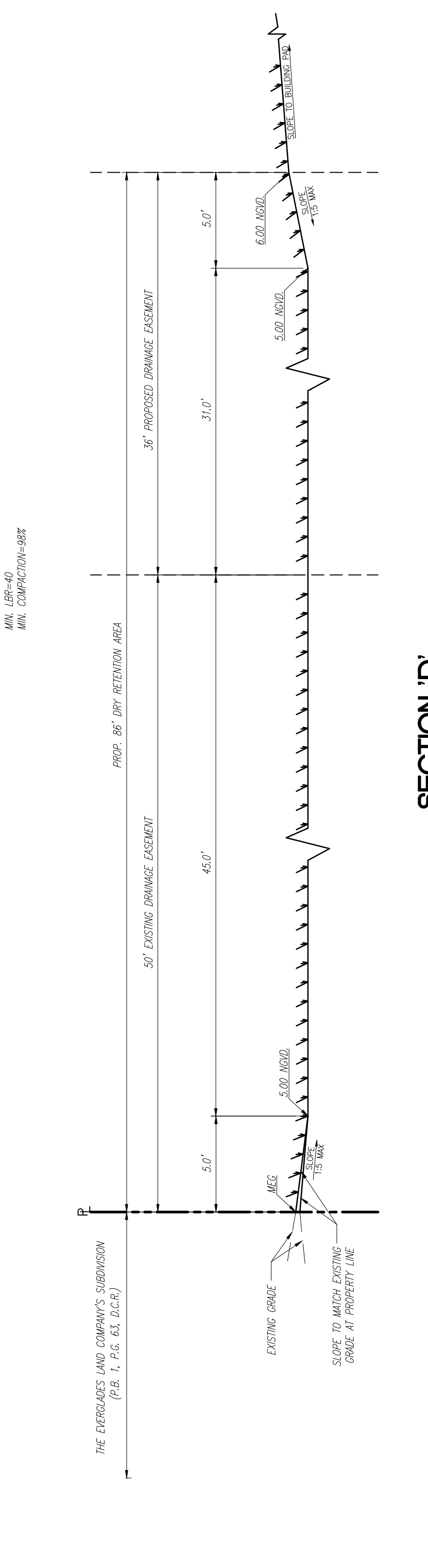
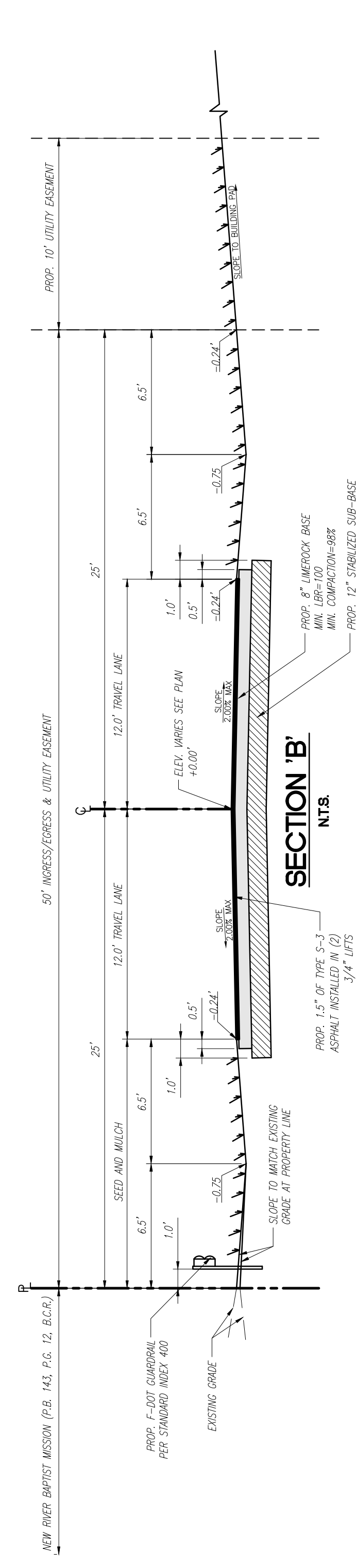
SECTIONS

TOWN OF SOUTHWEST RANCHES, FLORIDA, SEC. 36-50-39

Schwabke Shiskin & Associates, Inc.
LAND SURVEYORS
CIVIL ENGINEERS
LAND PLANNERS
LB#87 CA#87
3340 CORPORATE WY
MIRAMAR, FL 33025
TEL: (305)652-7010
FAX: (305)652-8284

Date	Remarks	By
6/1/15	GENERAL REVISION	BJT

Drawn By: BP Date: 08/28/14
 Checked By: JCT Date: 08/28/14
 Order No. 203153 FR 0000 Pg.00
 Drawing Status: Preliminary
 By: John C. Tello
 Asst. Vice Pres.
 Registered Engineer No. 71567
 State of Florida
 NOTE: Authentic copies of this drawing will bear the raised seal of the attesting Professional Engineer or Professional Land Surveyor.
 Scale: As Noted
 File No. **B-1977**
 Dwg. No. **C-7**
 OF: C-41



NOTE:
 NTS.
 CONTRACTOR SHALL DEMUCK ALL RETENTION AREA AND SEED AND MULCH PRIOR TO FINAL ACCEPTANCE BY THE ENGINEER OF RECORD AND SOUTH BROWARD DRAINAGE DISTRICT.
 2. ALL RETENTION AREAS SHALL HAVE 2" OF CLEAN FILL.

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NOTE:
 THE ELEVATIONS SHOWN HEREON REFER TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD) AND ARE EXPRESSED IN FEET. TO CONVERT TO NAVD PLEASE SUBTRACT THE OFFICIAL BROWARD COUNTY SINGLE AVERAGE CONVERSION FACTOR (ACF). THE ACF IN BROWARD COUNTY IS (1.51 FEET)

AKAI ESTATES

PAVING AND DRAINAGE PLAN

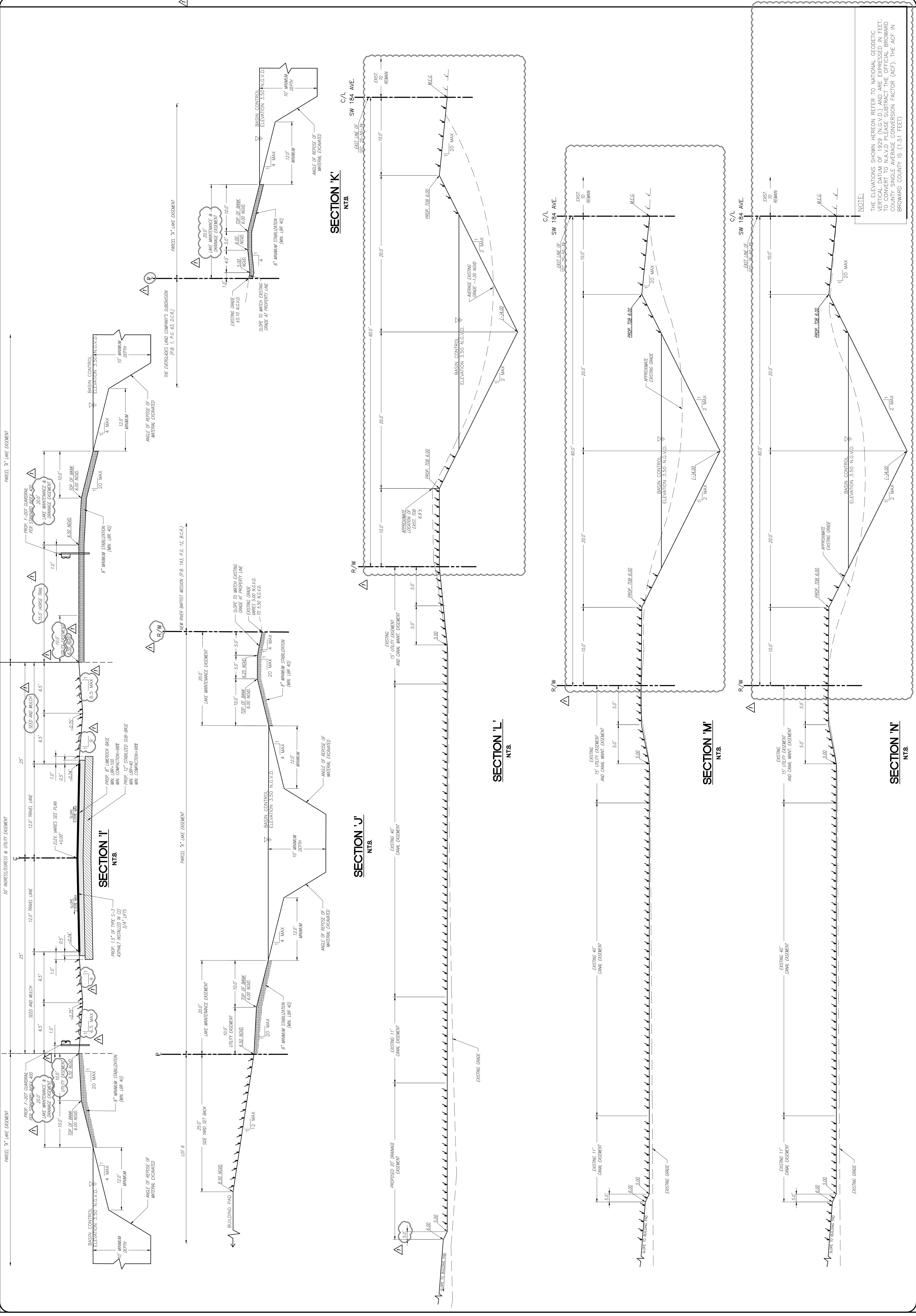
SECTIONS

TOWN OF SOUTHWEST RANCHES, FLORIDA, SEC. 36-50-39

Schwabke Shiskin & Associates, Inc.
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 3340 CORPORATE WAY
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 TEL: (305) 652-7010
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REVISIONS	Date	By	Remarks
1	6/1/15	GENEY	REVISIONS

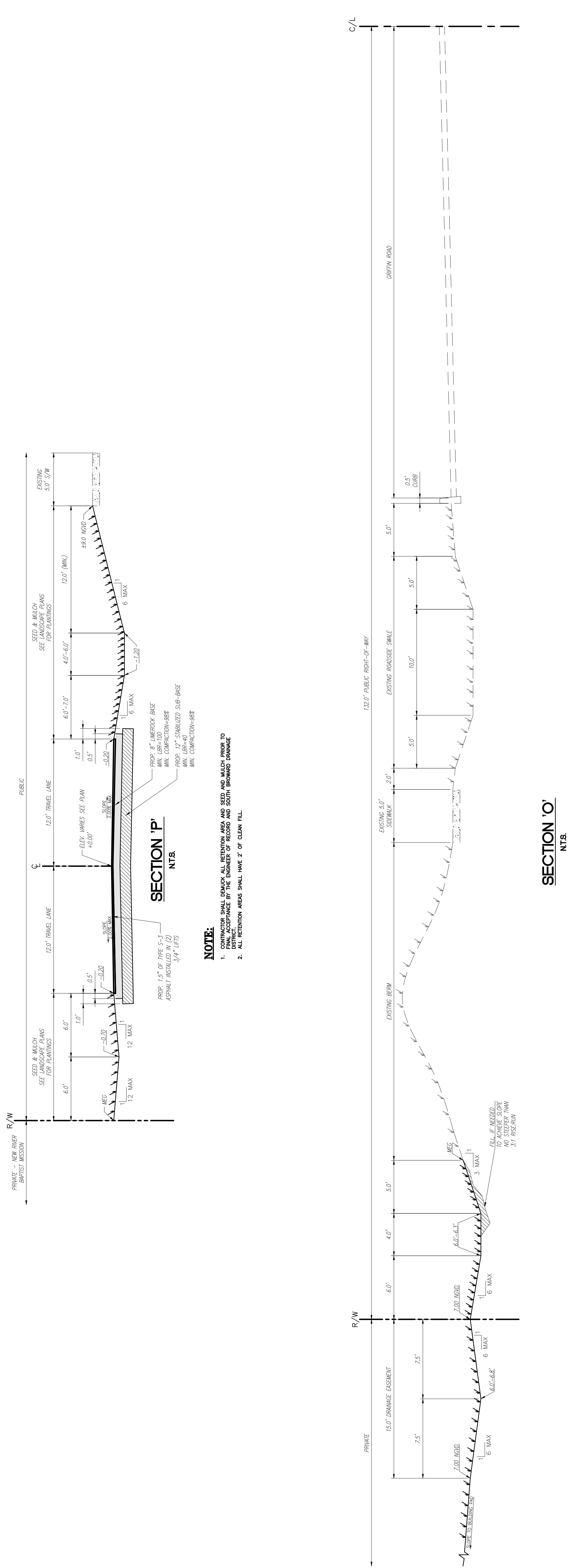
Drawn By: MDG Date: 08/29/14
 Checked By: JCT Date: 08/28/14
 Order No: 2013153 FR 0000 Pg. 00
 Drawing Status: Preliminary
 By: John C. Tello
 Asst. Vice Pres.
 Registered Engineer No. 71567
 State of Florida
 NOTE: Authentic copies of this drawing will bear the raised seal of the attesting Professional Engineer or Professional Land Surveyor.
 Scale: As Noted
 File No. B-1977
 Dwg. No. C-8
 OF: C-41



REVISIONS	
Date	Remarks
6/1/15	GENERAL REVISIONS LEZ

Drawn By: DCT Date: 04/29/15
 Checked By: DCT Date: 04/29/15
 Order No. 203153 FR. 0000 Pg. 00
 Sketches & Drawing Status: Preliminary
 By: John C. Tello
 Asst. Vice Pres.
 Registered Engineer No. 71567
 State of Florida
 Scale: As Noted
 File No. **B-1977**

Dwg. No. **C-08B**
 OF: C- 41



NOTE:
 1. CONTRACTOR SHALL DEMOLISH ALL RETENTION AREA AND SEED AND MULCH PRIOR TO FINAL ACCEPTANCE BY THE ENGINEER OF RECORD AND SOUTH BROWARD DISTRICT.
 2. ALL RETENTION AREAS SHALL HAVE 2" OF CLEAN FILL.

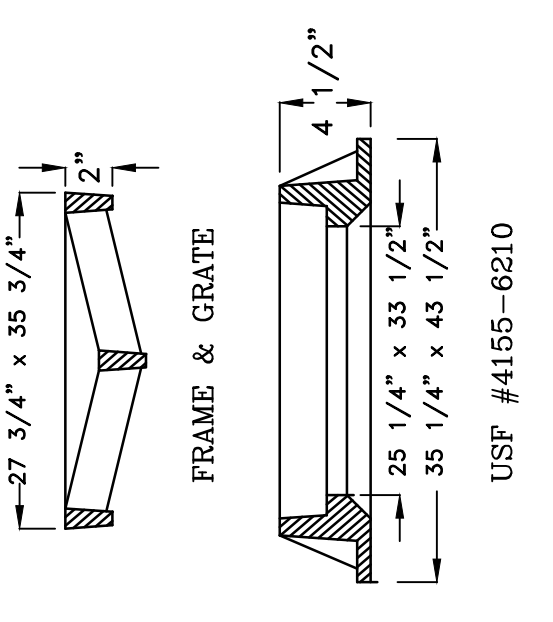
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REVISIONS	Date	Remarks	By
	6/11/15	GENERAL REVISIONS	BZ

AKAI ESTIMATES
PAVING, GRADING AND DRAINAGE PLAN
DETAILS
TOWN OF SOUTHWEST RANCHES, FLORIDA, SEC.36-50-39

GENERAL NOTES:

- ALL ELEVATIONS REFER TO N.G.V.D. (1929).
- ALL WORK SHALL CONFORM TO THE TOWN OF SOUTHWEST RANCHES, BROWARD COUNTY STANDARDS, SOUTH BROWARD DRAINAGE DISTRICT STANDARDS AND TO THE LATEST EDITIONS OF THE MICHIGAN PROFESSIONAL ENGINEERING ACTS.
- PASS A 3/4" SIEVE AND MORE THAN 70% SHALL PASS A 3/4" SIEVE AND THE LIME ROCK BASE COURSE AT LEAST 97% (BY WEIGHT) OF THE MATERIAL SHALL BE ALLOWED FOR BASE MATERIAL. STABILIZED SUB-BASE SHALL HAVE A MIN. L.B.R. = 90.
- MATERIAL SHALL BE GRADUATED UNIFORMLY DOWN TO DUST. ALL CRUSHING WHICH OCCURS IN THE MATERIAL IS PROHIBITED. ALL CRUSHING SHALL BE DONE IN A CONCRETE OR STEEL CRUSHER. THE CRUSHER SHALL BE CALIBRATED TO THE REQUIREMENT. THE CRUSHER SHALL BE CALIBRATED TO THE REQUIREMENT. THE CRUSHER SHALL BE CALIBRATED TO THE REQUIREMENT.
- GO TO ALL ASPHALT AREAS.
- COMPACTED TO 95% OF THE MODIFIED PROCTOR COMPACTION TEST, PER AASHTO T-180 METHOD.
- LIME ROCK BASE COURSE SHALL MEET FOOT STANDARD AS SET FORTH IN SECTION 300.
- ASPHALTIC CONCRETE SHALL BE OF TYPE SP-9.5. TYPE SP-9.5 ASPHALTIC CONCRETE SHALL MEET FOOT STANDARD SPECIFICATIONS AS SET FORTH IN SECTION 300.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES, THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES. ONLY ADDITIONAL UTILITIES MAY BE LOCATED ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES.
- THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND/OR BY OTHER METHODS, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES AND THE OWNER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES. SOUTH WEST RANCHES AND BROWARD COUNTY MANUAL ON UNIFORM TRAFFIC DEVICES, IN THE EVENT THAT UNSUITABLE SOILS (MUCK) ARE FOUND WITHIN THE LIMITS OF THE PROPOSED PARKING LOT & DRIVES, THE CONTRACTOR SHALL REMOVE SAID SOILS AND REPLACE WITH A STABILIZED SUB-BASE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES.
- CONTRACTOR TO COORDINATE WITH WATER & SEWER CONTRACTOR TO AVOID ALL EXISTING UTILITIES.
- AT THE BEGINNING OF YOUR WORK.
- NOTIFY ALL UTILITY COMPANIES BEFORE STARTING WORK.
- COURSE RESPONSIBILITY FOR COORDINATING AND GIVING NOTICE OF ALL EXISTING UTILITIES. IN DOING THIS HONOR THE LEAD TIME NEEDS OF THE RESPECTIVE AGENCIES.
- ALL DISPOSAL MATERIAL, RUBBISH AND DEBRIS SHALL BE MADE AT LEGAL DISPOSAL SITE OR BY OTHER PROVED APPROVED MANNER. MATERIAL REMOVED FROM THE SITE MUST BE PROPERLY DISPOSED. MATERIAL REMOVED FROM THE SITE MUST BE PROPERLY DISPOSED. MATERIAL REMOVED FROM THE SITE MUST BE PROPERLY DISPOSED.
- WORK PERFORMED UNDER THIS PROJECT WILL NOT BE CONSIDERED AS COMPLETE UNLESS ALL WORK IS ACCORDING TO THE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES AND THE OWNER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS.
- DENSITY TESTS SHALL BE PERFORMED EVERY 2,500 S.F.T. FOR BASE AND SUB-BASE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES. THE THICKNESS OF MATERIAL ARE MET AS CALLED FOR IN THIS PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES.
- REINFORCED CONCRETE PIPE (R.C.P.) SHALL MEET FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AS SET FORTH IN SECTIONS 430, 440, & 449.
- ALL CORRUGATED ALUMINUM PIPE (C.A.P.) SHALL MEET FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AS SET FORTH IN SECTIONS 948 AND 949.
- FOR PERFORATED PIPE MEASURED FROM LOWEST PIPE INVERT. ALL DRAINAGE STRUCTURES SHALL BE PLACED OVER 12" OF 3/4" LIMEROCK.
- ALL PIPE BEDDING SHALL BE OF GOOD GRANULAR QUALITY, FREE OF EXCESSIVE FINES. AN OPEN GRADED STONE, NOT LARGER THAN 3/4" IS RECOMMENDED. PIPE BENCHES SHALL BE BACK FILLED WITH APPROVED MATERIAL FREE OF LARGE LOGS, STONES OR ROCKS AND CAREFULLY DEPOSITED AND COMPACTED IN LAYERS NOT TO EXCEED 6" UNTIL ENOUGH FILL HAS BEEN PLACED TO PROVIDE A COVER OF NOT LESS THAN ONE FOOT ABOVE THE PIPE. THE REMAINDER OF BACK FILL MATERIAL SHALL BE COMPACTED TO 95% OF THE MODIFIED PROCTOR TEST. THE MINIMUM OF 95% OF THE MODIFIED PROCTOR TEST AS PER AASHTO T-180 METHOD. THE LOCATION OF STRUCTURES, SHOP DRAWINGS FOR ALL DRAINAGE STRUCTURES, PIPES, GRATES AND RELATED MATERIAL TO THE ENGINEER OF RECORD FOR HIS APPROVAL.
- AT THE COMPLETION OF THE WORK THE CONTRACTOR SHALL CERTIFY THAT THE CONTRACTOR HAS COMPLETED THE WORK AS SET FORTH IN THE PLANS AND SPECIFICATIONS. ALL CHANGES SHALL BE MADE BY THE ENGINEER OF RECORD. ALL CHANGES SHALL BE MADE BY THE ENGINEER OF RECORD.
- ALL PIPE CALLED HOPE OR COP TO BE HIGH STRENGTH CORRUGATED POLYETHYLENE PIPE (ASTM D3350 & ASTM F405). PIPE INSTALLATION FOR C.P.P. SHALL BE IN ACCORDANCE WITH ASTM D3350 & ASTM F405. PIPE INSTALLATION FOR C.P.P. SHALL BE IN ACCORDANCE WITH ASTM D3350 & ASTM F405. PIPE INSTALLATION FOR C.P.P. SHALL BE IN ACCORDANCE WITH ASTM D3350 & ASTM F405.
- ALL STORM DRAINAGE STRUCTURES SHALL BE EQUIPPED WITH FILTER CLOTH SUPPORTED BELOW THE GRADE/INLET WITH WIRE MESH OR A SIMILAR SYSTEM UPON INSTALLATION OF THE BASIN TOPS ON SITE. THE FILTER CLOTH FABRIC IS NOT TO BE OF A POLYESTER TYPE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES.
- ALL STRUCTURES WITHIN PROJECT SHALL BE VACUUMED CLEAN OF ALL SILT, SAND, AND OTHER MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES.
- AND MAINTAINED CLEAN AND CLEAR OF DEBRIS, ROCK, SAND AND SILT.
- CONTRACTOR(S) SHALL BE CAUTIONED THAT INTRODUCTION OF SUCH MATERIALS AS CONSTRUCTION MATERIALS, CONCRETE AND STUCCO SLURRY OR WASH-OFF MATERIALS INTO THE STORM DRAINAGE SYSTEM CAN BE DELETERIOUS TO THE SYSTEM. WHEN INTRODUCED INTO THE STORM DRAINAGE SYSTEM CAN AND WILL RENDER IT USELESS. POLLUTE THE SITE AND SURROUNDING SYSTEM OR HARM THE SYSTEM'S PERFORMANCE LEVEL.

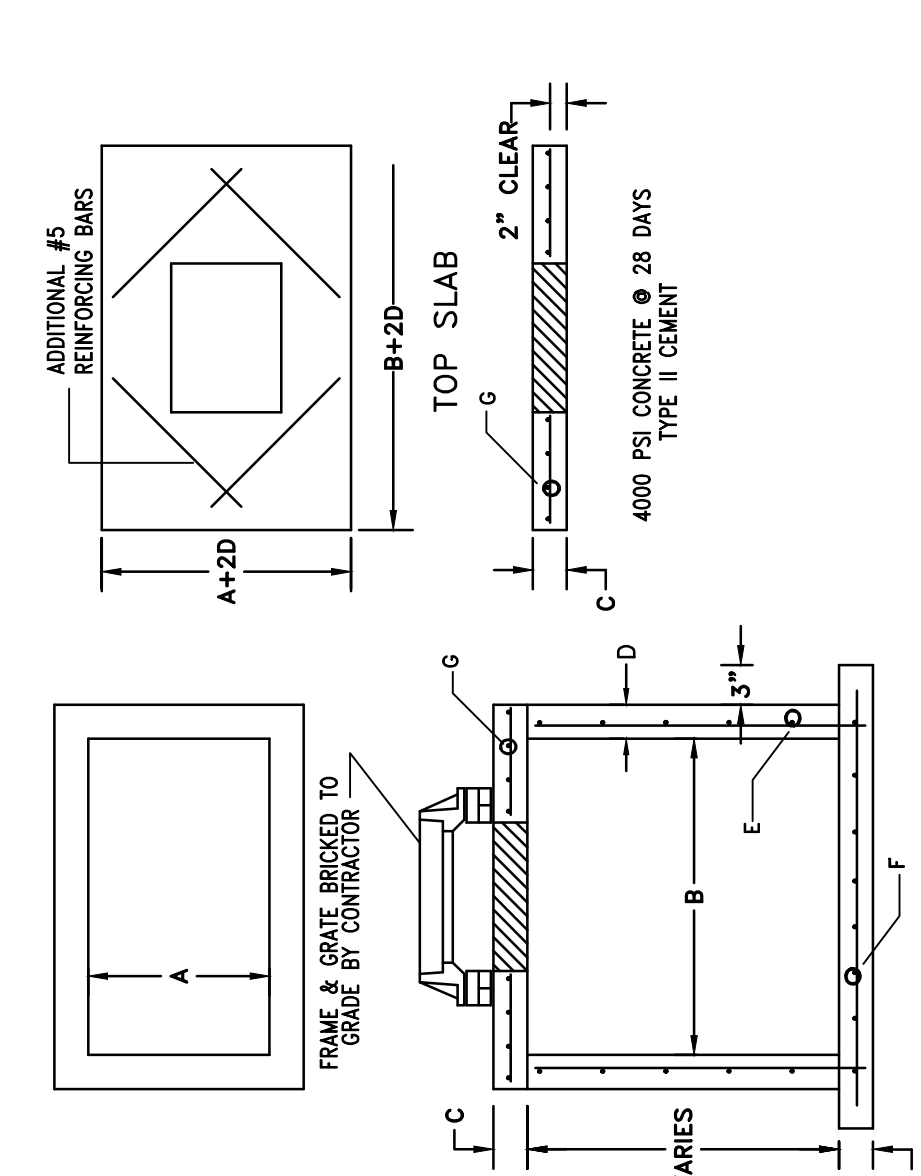
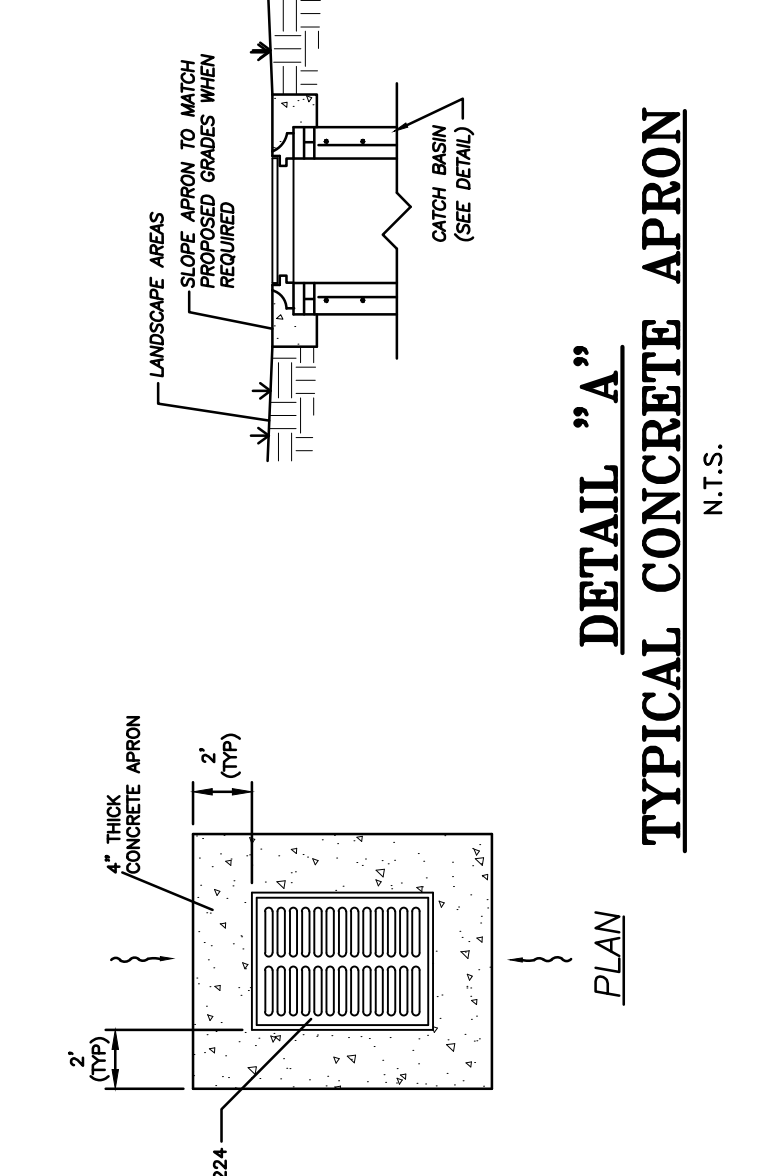


USF #4155-6210

STRUCTURE SCHEDULE

STRUCTURE NUMBER	RIM ELEVATION	INVERT ELEVATION					FLOOR ELEVATION	STRUCTURE TYPE	FRAME & GRATE TYPE
		N	S	E	W				
1	5.00	---	---	1.00	---	(-11.00)	E	USF 6300	
2	5.50	---	---	1.50	---	(-11.00)	E	USF 6300	
3	5.50	---	---	1.00	---	(-11.00)	E	USF 6300	
4	5.00	---	---	---	---	(-11.00)	E	USF 6300	
5	5.00	---	---	1.00*	---	(-11.00)	E	USF 6300	
6	5.00	---	---	---	---	(-11.00)	E	USF 6300	
7	5.00	---	---	1.00*	---	(-11.00)	E	USF 6300	
8	5.50	---	---	---	---	(-11.00)	E	USF 6300	
9	5.50	---	---	1.50	---	(-11.00)	E	USF 6300	
10	5.00	---	---	---	---	(-11.00)	E	USF 6300	
11	5.00	---	---	---	---	(-11.00)	E	USF 6300	
12	5.50	---	---	1.50	---	(-11.00)	E	USF 6300	
13	5.50	---	---	---	---	(-11.00)	E	USF 6300	
14	5.00	---	---	---	---	(-11.00)	E	USF 6300	
15	5.00	---	---	1.00*	---	(-11.00)	E	USF 6300	
16	5.00	---	---	---	---	(-11.00)	E	USF 6300	
17	5.00	---	---	---	---	(-11.00)	E	USF 6300	
18	5.50	---	---	1.00	---	(-11.00)	E	USF 6300	
19	5.50	---	---	---	---	(-11.00)	E	USF 6300	
20	5.00	---	---	---	---	(-11.00)	E	USF 6300	
21	5.00	---	---	---	---	(-11.00)	E	USF 6300	
22	5.50	---	---	1.50	---	(-11.00)	E	USF 6300	
23	5.50	---	---	---	---	(-11.00)	E	USF 6300	
24	5.00	---	---	---	---	(-11.00)	E	USF 6300	
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26	5.50	---	---	---	---	(-10.50)	E	USF 6300	
27	5.50	---	---	1.50*	---	(-10.50)	E	USF 6300	
28	5.50	---	---	---	---	(-10.50)	E	USF 6300	
29	5.50	---	---	1.00	---	(-11.00)	E	USF 6300	
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33	5.00	---	---	---	---	(-10.50)	E	USF 6300	
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41	6.50	---	---	---	---	1.00	E	USF 6300	
42	6.50	---	---	---	---	1.00	E	USF 6300	
43	6.30	---	---	---	---	(-10.50)	E	USF 6300	

REINFORCED CONCRETE APRON REQUIRED (SEE PAVING, GRADING & DRAINAGE DETAILS SHEETS FOR BAFFLE SPECIFICATIONS)



CATCH TYPE	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O
42"x42"	3'-6"	3'-6"	8"	8"	#4@12"	#4@12"	#4@12"	9 1/2"	10"	10"	10"	10"	10"	10"	10"
36"x48"	3'-0"	4'-0"	8"	8"	#4@12"	#4@12"	#4@12"	10 1/2"	10 1/2"	10 1/2"	10 1/2"	10 1/2"	10 1/2"	10 1/2"	10 1/2"
36"x48"	3'-0"	4'-0"	8"	8"	#4@12"	#4@12"	#4@12"	10 1/2"	10 1/2"	10 1/2"	10 1/2"	10 1/2"	10 1/2"	10 1/2"	10 1/2"
42"x72"	3'-6"	3'-6"	8"	8"	#4@12"	#4@12"	#4@12"	10 1/2"	10 1/2"	10 1/2"	10 1/2"	10 1/2"	10 1/2"	10 1/2"	10 1/2"
36"x60"	3'-0"	3'-0"	10"	10"	#4@12"	#4@12"	#4@12"	10 1/2"	10 1/2"	10 1/2"	10 1/2"	10 1/2"	10 1/2"	10 1/2"	10 1/2"

TYPE "C" CATCH BASIN RECTANGULAR STRUCTURE

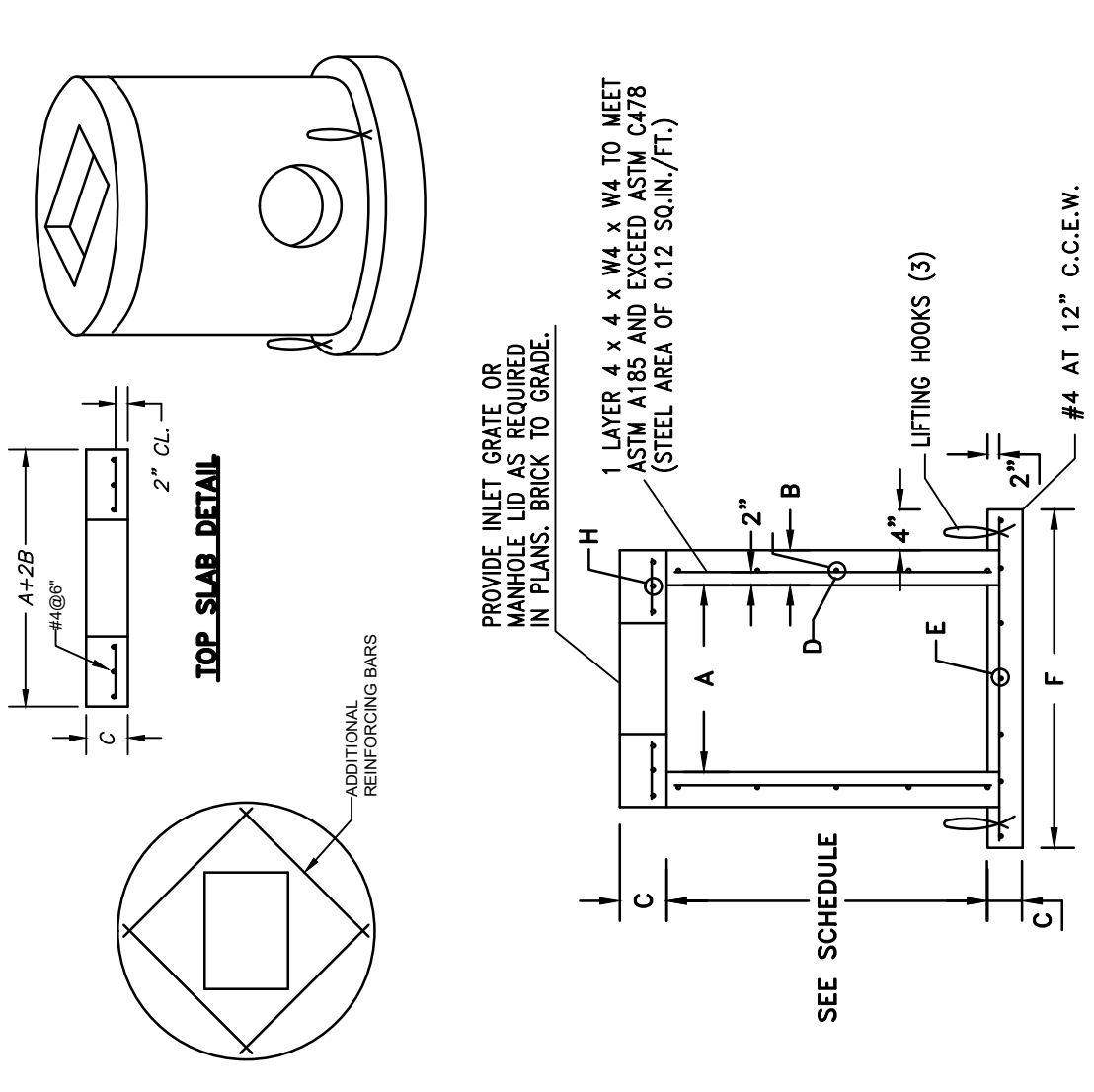
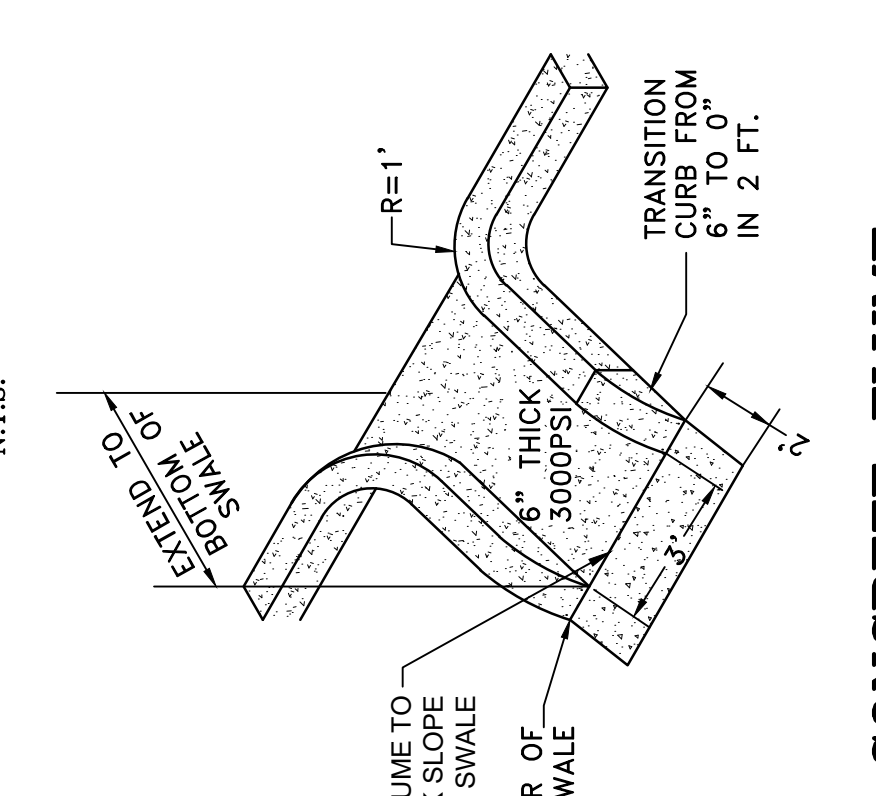
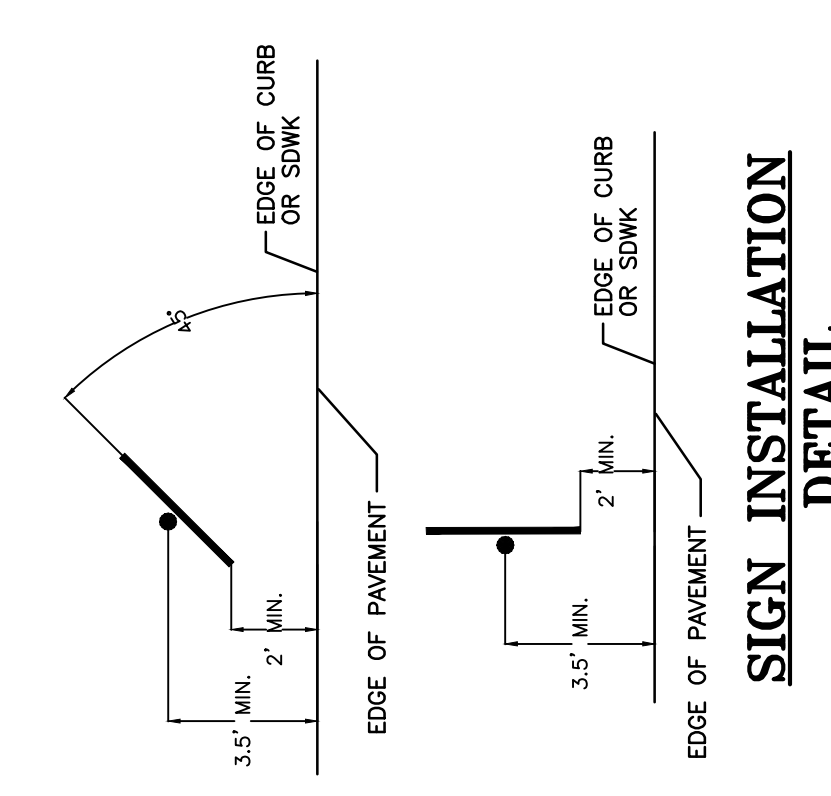
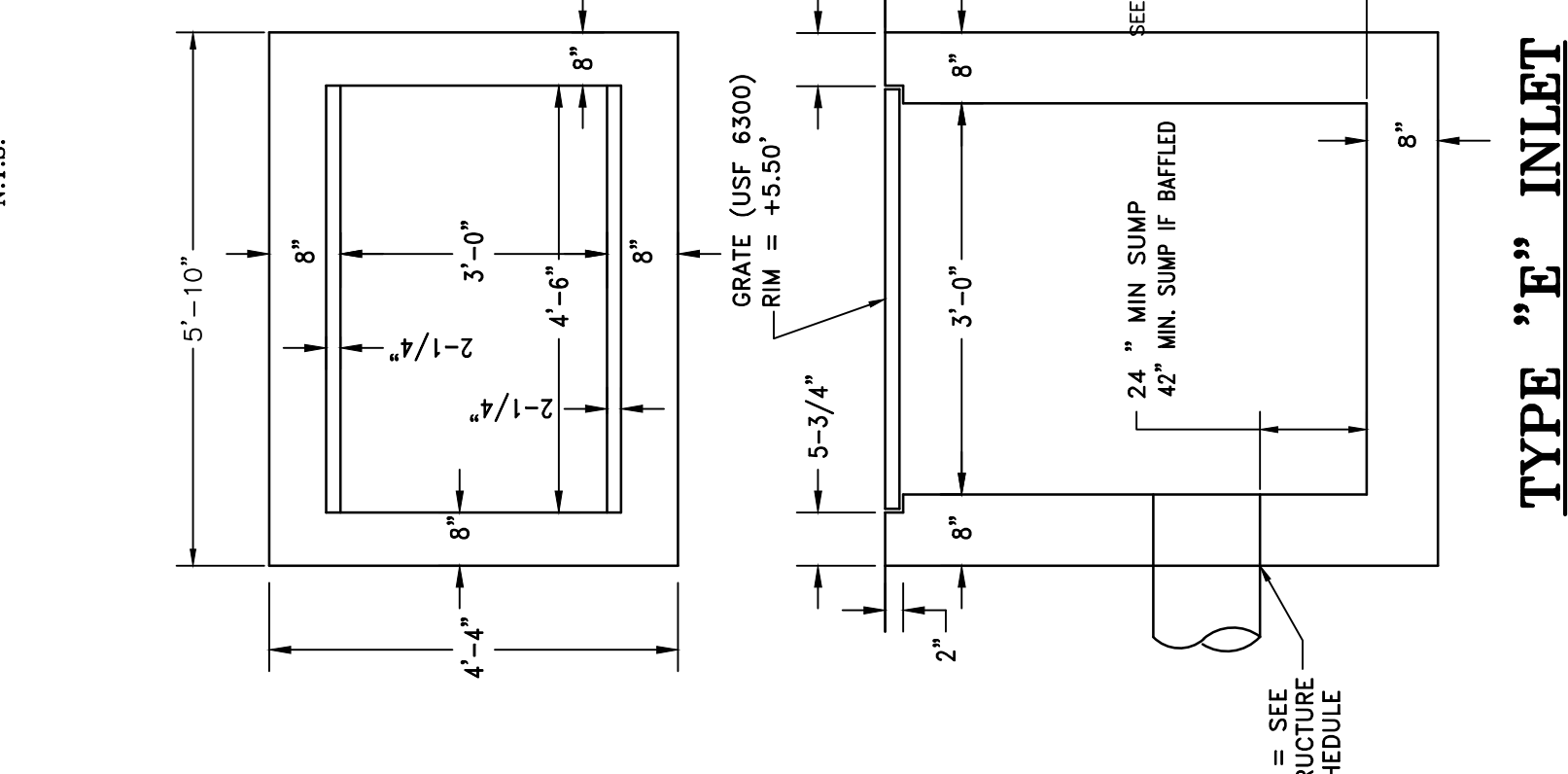
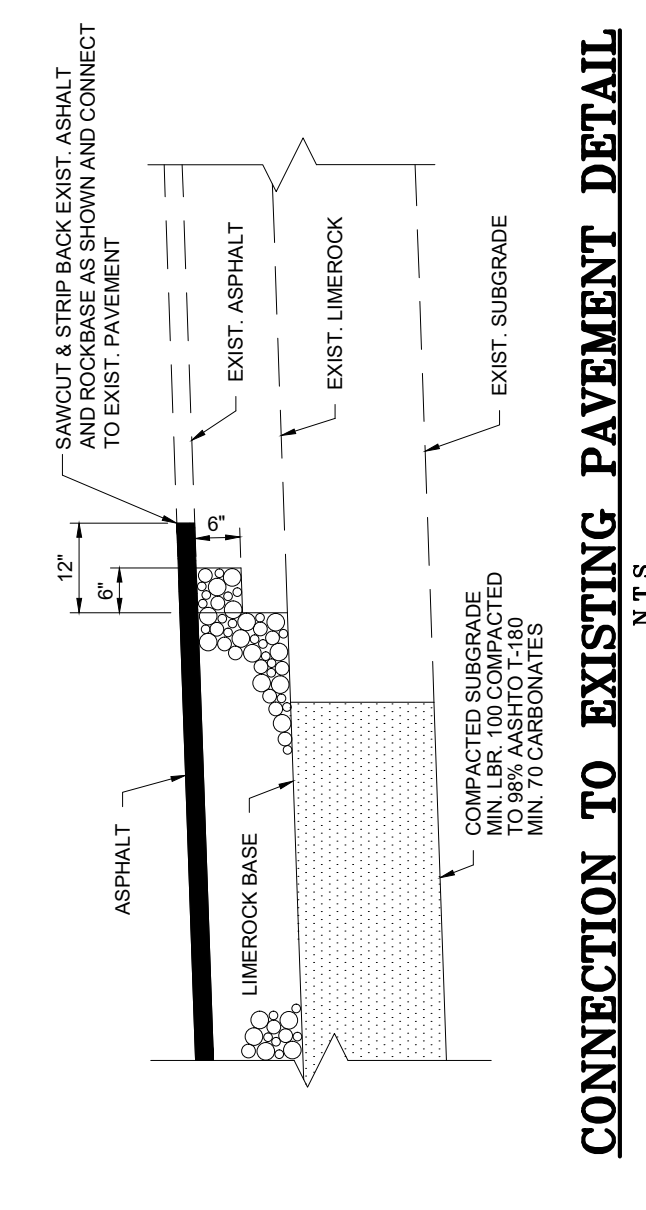


TABLE OF DIMENSIONS

A	B	C	D	E	F	G	H	I	J
3'-6"	6"	8"	ASTM C-478	#4 AT 12"	5'-0"	4'-6"	#4	C.C.E.W	72
4'-0"	6"	8"	ASTM C-478	#4 AT 12"	6'-0"	5'-0"	#4	AT 6"	94
4'-0"	6"	8"	ASTM C-478	#4 AT 12"	6'-4"	5'-4"	#4	AT 6"	94
5'-0"	6"	8"	ASTM C-478	#5 AT 12"	7'-4"	6'-4"	#5	AT 6"	147
6'-0"	6"	8"	ASTM C-478	#5 AT 6"	8'-0"	7'-0"	#5	AT 6"	211
6'-5"	6"	8"	ASTM C-478	#5 AT 6"	8'-4"	7'-4"	#5	AT 6"	211

TYPE "C" CATCH BASIN 42" - 120" ROUND STRUCTURE

NOTE: ALL DRAINAGE STRUCTURES MUST HAVE A MINIMUM SUMP OF 2'.



N.T.S.

AKAI ESTATES

PAVEMENT MARKING AND SIGNAGE PLAN

PLAN VIEW

TOWN OF SOUTHWEST RANCHES, FLORIDA, SEC. 36-50-39

3240 CORPORATE WY
 MIRAMAR, FL 33025
 TEL: (305)652-7010
 FAX: (305)652-8284

REVISIONS

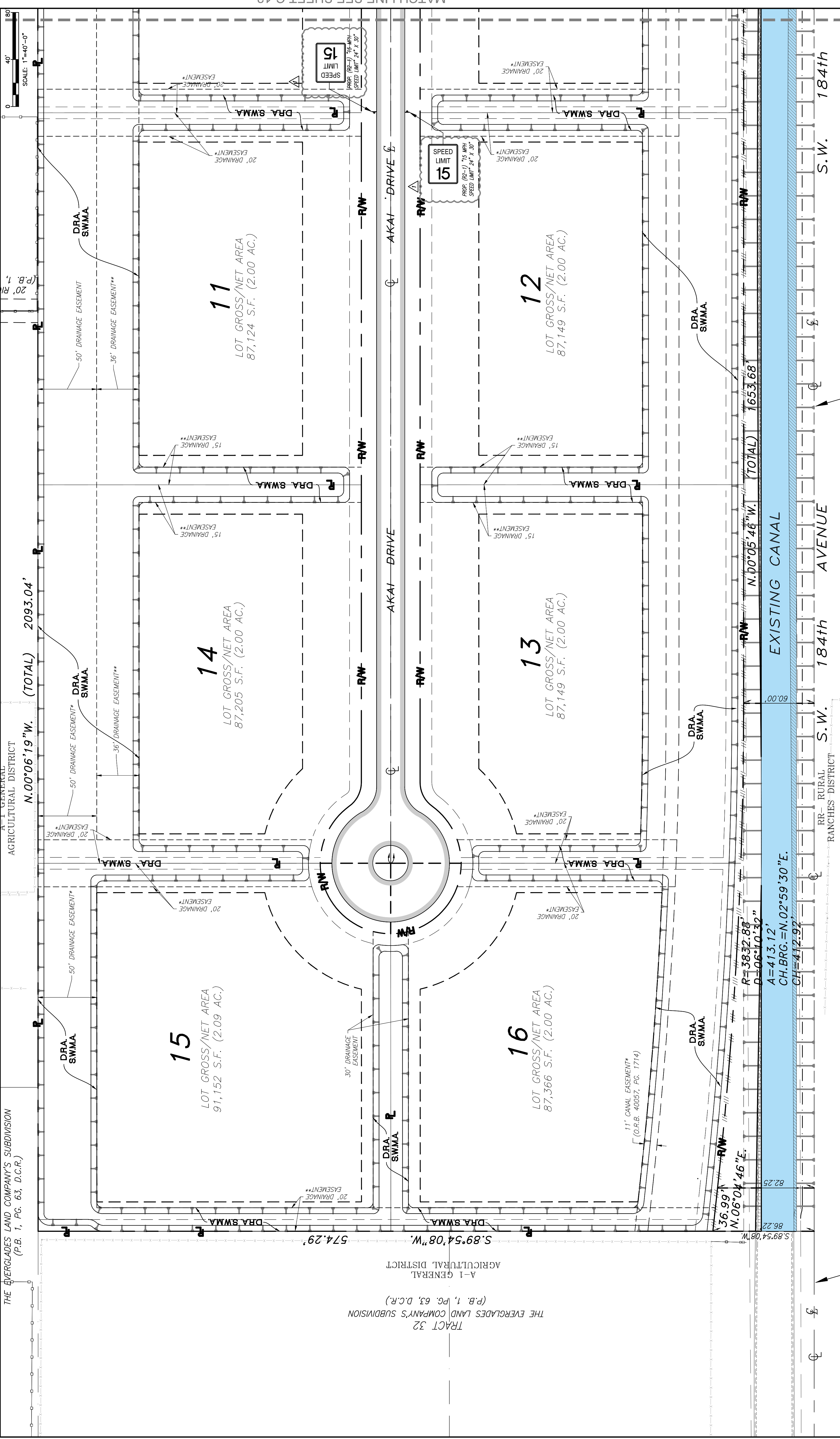
Date	By	Remarks
6/7/15	GENERAL	REVISION DET

Drawn By: BP Date: 08/29/14
 Checked By: JCT Date: 08/28/14
 Order No: 203153 FR 0000 Pg.00
 Drawing Status: Preliminary

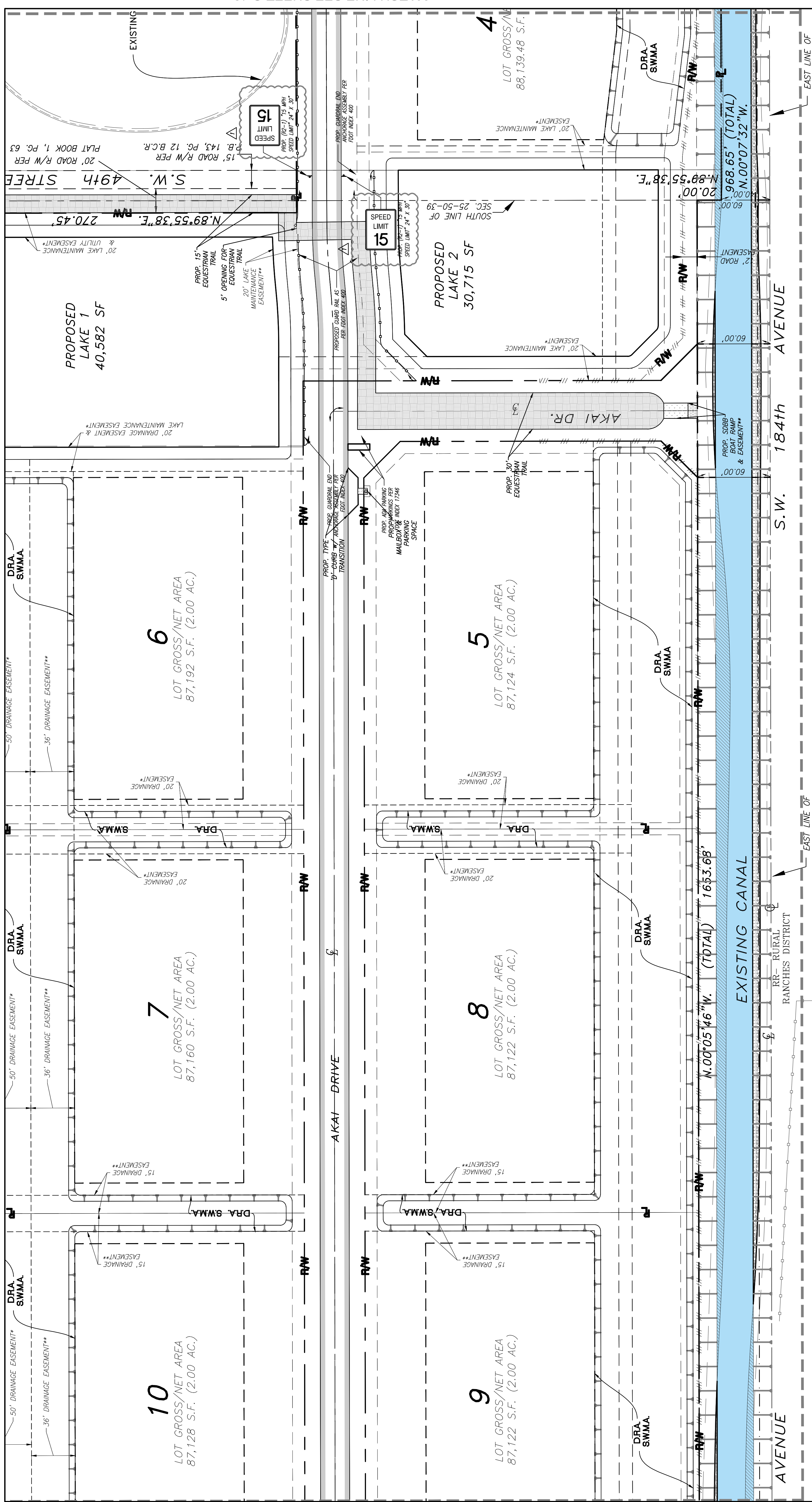
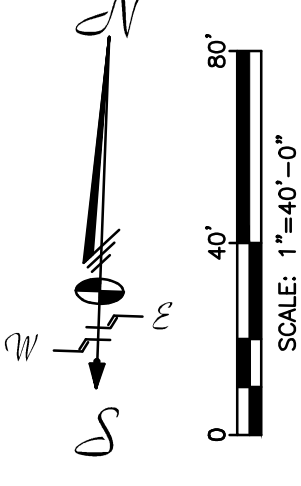
By: John C. Tello
 Asst. Vice Pres.
 Registered Engineer No. 71567
 State of Florida

NOTE: Authentic copies of this drawing will bear the raised seal of the attending Professional Engineer or Professional Land Surveyor.

Scale: As Noted
 File No: B-1977
 Dwg. No: C-11
 OF: 41



Schwabke
 Shiskin &
 Associates, Inc.
 LAND SURVEYORS
 CIVIL ENGINEERS
 LAND PLANNERS
 LB#87 CA#87
 3240 CORPORATE WY
 MIRAMAR, FL 33025
 TEL: (305)652-7010
 FAX: (305)652-8284



AKAI ESTATES

PAVEMENT MARKING AND SIGNAGE PLAN

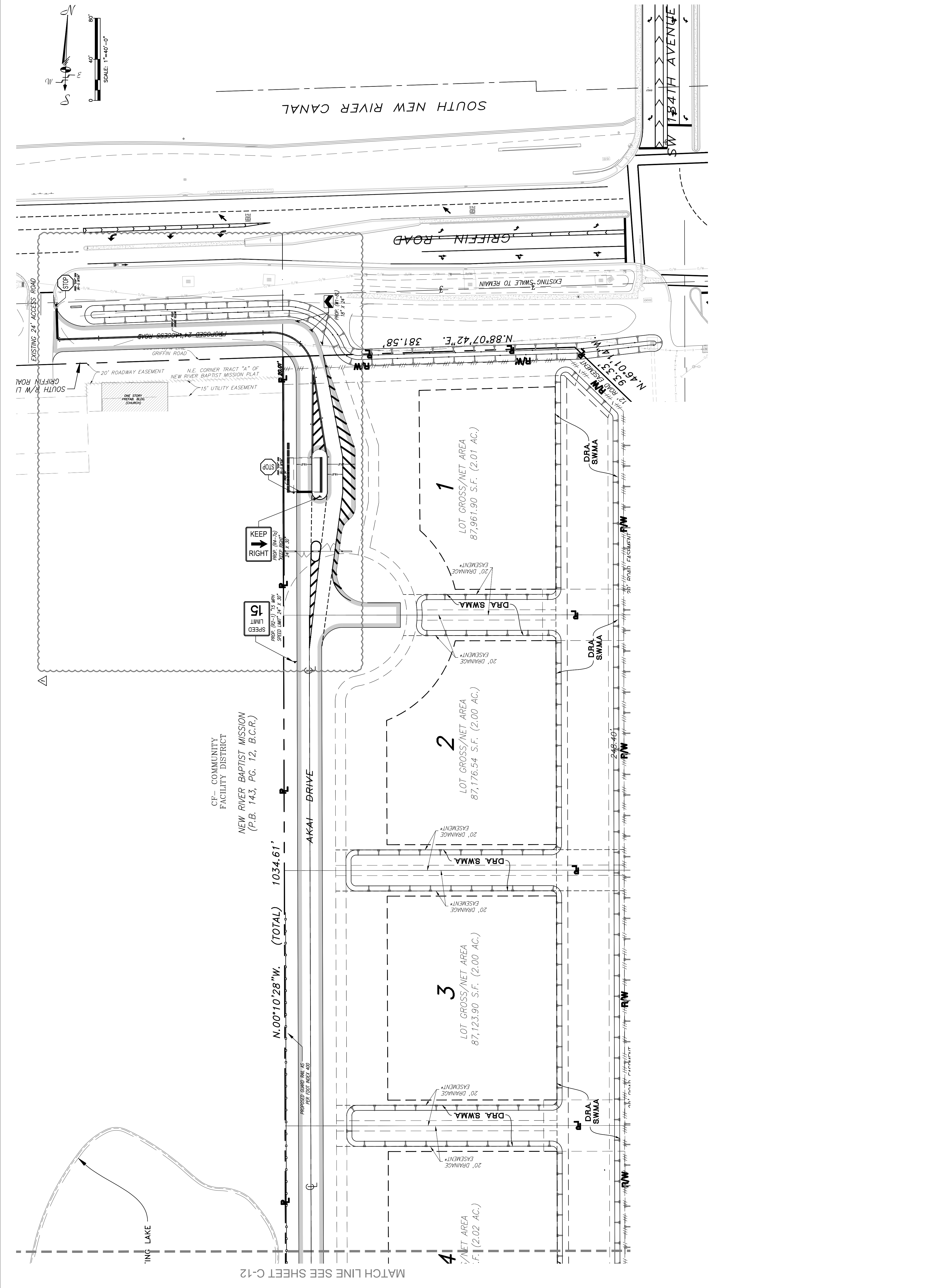
PLAN VIEW

TOWN OF SOUTHWEST RANCHES, FLORIDA, SEC. 36-50-39

Schwabke Shiskin & Associates, Inc.
 LAND SURVEYORS
 CIVIL ENGINEERS
 LAND PLANNERS
 LB#87 CA#87
 3340 CORPORATE WAY
 MIAMI, FL 33025
 TEL: (305)652-7010
 FAX: (305)652-8284

REVISIONS	Date	By	Remarks
	6/2/15	GENEVA	REVISIONS

Drawn By: BP Date: 08/28/14
 Checked By: JCT Date: 08/28/14
 Order No: 203153 PR 0000 Pg. 00
 Drawing Status: Preliminary
 By: John C. Tello
 Asst. Vice Pres.
 Registered Engineer No. 71567
 State of Florida
 Scale: As Noted
 File No: B-977
 Dwg. No: C-13
 OF: 41



FLLOATING TURBIDITY BARRIER

Construction Specifications

1. Barriers should be a bright color (yellow or "international" orange are recommended) that will attract the attention of nearby boaters.
2. The curtain fabric must meet the minimum requirements noted in Table 3.27-4.
3. Seams in the fabric shall be either vulcanized welded or sewn, and shall develop the full strength of the fabric.
4. Floatation devices shall be flexible, buoyant units contained in an individual floatation sleeve or collar attached to the curtain. Buoyancy provided by the floatation units shall be sufficient to support the weight of the curtain and maintain a freeboard of at least 3 inches (8 cm) above the water surface level. (See Plate 4.45c)

5. Load lines must be fabricated into the bottom of all floating turbidity curtains. Type II and Type III must have load lines also fabricated into the top of the floatation sleeve. The load lines must consist of a minimum of 10,000 pounds (4.5 t). The supplemental (bottom) load-line shall consist of a chain incorporated into the curtain in a vertical position. Additional anchorage shall be provided as necessary. The load lines shall have suitable connecting devices which develop the full breaking strength for connecting to load lines in adjacent sections. (See Plates 4.45a and 4.45b which portray this orientation).

6. External anchors may consist of 2 x 4 inch (5 x 10 cm) or 2-1/2 inch (6 cm) minimum diameter wooden stakes, or 1.33 pounds/linear foot (2 kg/m) steel posts when Type I installation is used; when Type II or Type III installations are used, bottom anchors should be used.

7. Bottom anchors must be sufficient to hold the curtain in the same position relative to the bottom of the watercourse without interfering with the action of the curtain. The anchor may dig into the bottom (grappling hook, plow or fluke-type) or may be weighted (mushroom type) and should be attached to a floating anchor buoy via an anchor line. The anchor line would then run from the buoy to the top load line of the curtain. When used with Type III installations, these lines must contain enough slack to allow the buoy and curtain to float freely with tidal changes without pulling the buoy or curtain down and must be checked regularly to make sure they do not become entangled with and expected wind and wave action; manufacturer's recommendations for installation in Plate 4.45b.

Installation

1. In the calm water of lakes or ponds (Type I installation) it is usually sufficient to merely set the curtain end stakes or anchor points (using anchor buoys if bottom anchors are employed), then tow the curtain in the turlid condition out and attach it to these stakes or anchor points. Following this, location of the curtain may be set and secured by anchor points made fast to the curtain. Only then, the turling lines should be cut to let the curtain skirt drop.

2. In rivers or in other moving water (Type II and Type III installations) it is important to set all the curtain anchor points. Care must be taken to ensure that anchor points are of sufficient holding power to retain the curtain under the expected current conditions, before putting the turlid curtain into the water. Anchor buoys should be employed on all anchors to prevent the current from submerging the floatation at the anchor points. If the moving water into which the curtain is being installed is important to provide anchors on both sides of the curtain for two reasons: a) The curtain will not overrun the anchors during tidal current reversals. b) The curtain will not overrun the anchors pull them out when tide reverses. When the curtain is secure, the turlid curtain should be secured to the upstream anchor point and then sequentially attached to each next downstream anchor point until the entire curtain is in position. At this point, and before unturling, the "top" of the curtain should be assessed and any necessary adjustments made to the anchors. Finally, when the location is ascertained to be as desired, the turling lines should be cut to allow the skirt to drop.

3. Always attach anchor lines to the floatation device, not to the bottom of the curtain. The anchoring line attached to the floatation device on the downstream side will provide support for the curtain. Attaching the anchors to the bottom of the curtain could cause premature failure of the curtain due to the stresses imparted on the middle section of the curtain.

4. There is an exception to the rule that turbidity curtains should not be installed across channel flows; it occurs when there is a danger of creating a silt buildup in the middle of a watercourse, thereby blocking access or creating a barrier. In this case, a silt trap should be installed in the middle of the watercourse. A silt trap is a watercourse with a Y-shaped channel. The water in the Y-shaped channel will collect silt and direct a large part of the silt-laden water to the work area inside the silt trap, and direct much of the silt to the shoreline. Care must be taken, however, not to install the curtain perpendicular to the water current.

5. The effectiveness of the barrier can be increased by installing two parallel curtains, separated at regular intervals by 10' (3 m) long wooden boards or lengths of pipe.

Removal

1. Care should be taken to protect the skirt from damage as the turbidity curtain is dragged from the water.

2. The site selected to bring the curtain ashore should be free of sharp rocks, broken cement, debris, etc. so as to minimize damage when hauling the curtain over the area.

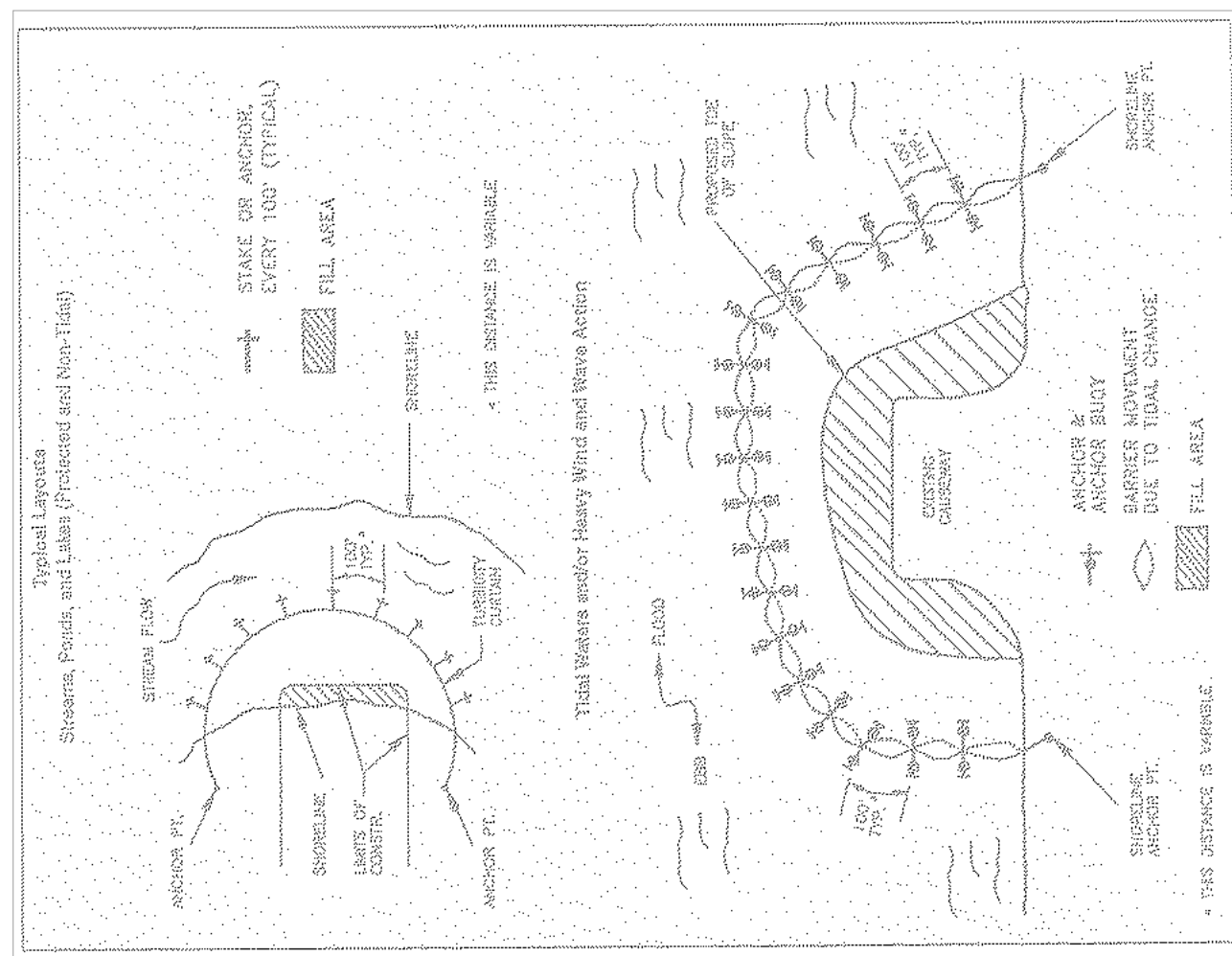
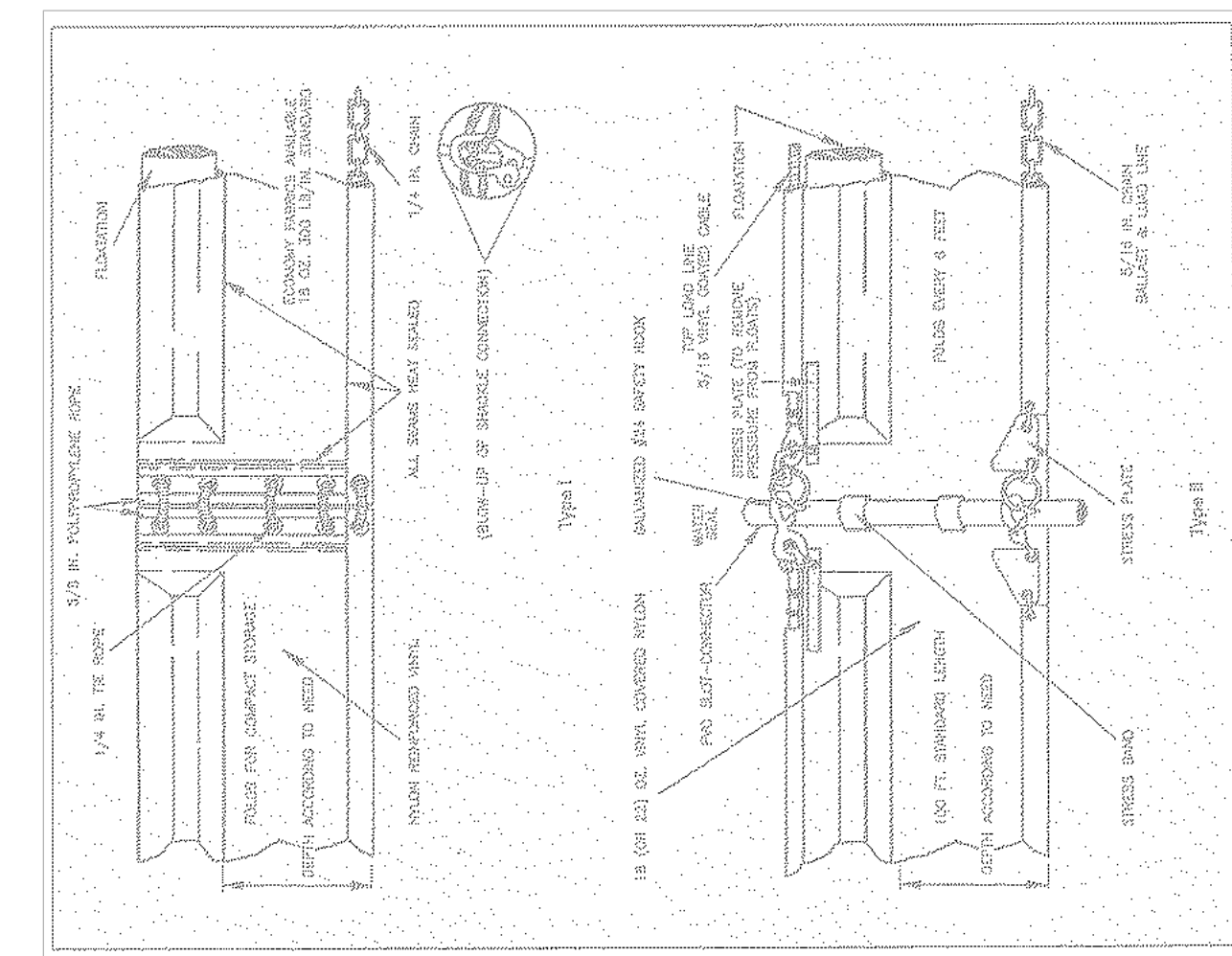
3. If the curtain has a deep skirt, it can be further protected by running a small boat along its length with a crew installing turling lines before attempting to remove the curtain from the water.

Maintenance

1. The developer/owner shall be responsible for maintenance of the filter curtain for the duration of the project to ensure the continuous protection of the watercourse.

2. Should repairs to the geotextile fabric become necessary, there are normally repair kits available from the manufacturers; manufacturer's instructions must be followed to ensure the adequacy of the repair.

3. When the curtain is no longer required as determined by the inspector, the minimize turbidity. Sediment shall be removed in such a manner as to (or plan elevation) restored before removing the curtain. Remaining sediment shall be sufficiently settled before removing the curtain. Any spoils must be taken to an upland area and stabilized.



NOTES:

1. CONTRACTOR IS TO SUBMIT THE NOTICE OF INTENT (NOI) APPLICATION PROVIDED ON THE DEP WEB SITE ALONG WITH THE APPLICATION FEE FOR SMALL CONSTRUCTION PROJECTS (LESS THAN 5 ACRES) OR FOR LARGE CONSTRUCTION PROJECTS (5 OR MORE ACRES) TO THE NOTICES CENTER. PLEASE CHECK WITH F-DEP FOR CURRENT PERMIT FEES. AUTHORIZATION IS GRANTED 48 HOURS AFTER THE DATE OF THE COMPLETE NOI APPLICATION IS POST-MARKED TO DEP. THE NOTICES CENTER WILL SEND AN ACKNOWLEDGMENT LETTER AFTER RECEIVING AND PROCESSING YOUR COMPLETE NOI APPLICATION AND FEE.
2. RESUBMIT NOI PACKAGE EVERY FIVE YEARS (IF CONSTRUCTION ACTIVITY EXCEEDS FIVE YEARS).
3. THE APPLICATION FEE IS SUBJECT TO CHANGE. ALWAYS CONFIRM THE AMOUNT BY CALLING THE NOTICES CENTER AT (888) 336-6312.
4. THE ADDRESS FOR NPDES STORMWATER NOTICES CENTER IS:
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
2600 BLAIR STONE ROAD, MSF2510
TALLAHASSEE, FL 32389-2400
5. THE MAILING ADDRESS FOR SOUTH FLORIDA WATER MANAGEMENT DISTRICT 1S:
P. O. BOX 24680, WEST PALM BEACH, FL 33416-4680

SILT FENCE

Construction Specifications

Materials

1. Synthetic filter fabric shall be a pervious sheet of polypropylene, nylon, polyester, or polyethylene yarn. Synthetic filter fabric shall contain ultraviolet ray inhibitors and stabilizers to provide a minimum of 6 months of expected usable construction life at a temperature range of 0₂ F to 120₂ F (-17C to 49C).
2. Burlap shall be 10 ounces per square yard (340 g/m²) fabric.
3. Posts for silt fences shall be either 4 inch (10 cm) diameter wood, or 1.33 pounds per linear foot (2 kg/m) steel with a minimum length of 5 feet (1.5 m). Steel posts shall have projections for fastening wire to them.
4. Stakes for filter barriers shall be 1" x 2" (2.5 x 5 cm) wood (preferred), or equivalent metal with a minimum length of 3 feet (90 cm).
5. Wire fence reinforcement for silt fences using standard strength filter cloth shall be a minimum of 36 inches (90 cm) in height, a minimum of 14 gauge and shall have a maximum mesh spacing of 6 inches (15 cm).

Sheet Flow Application:

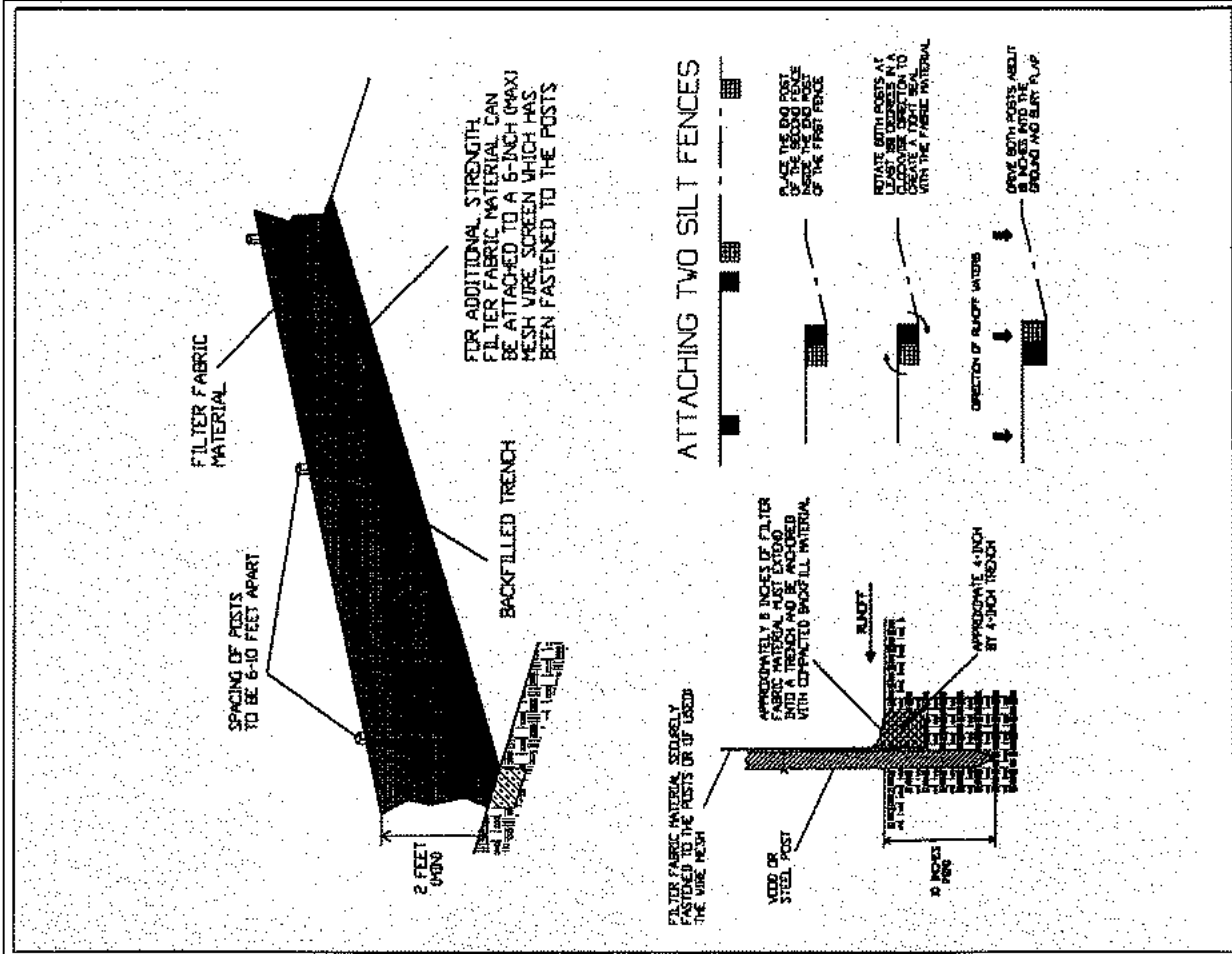
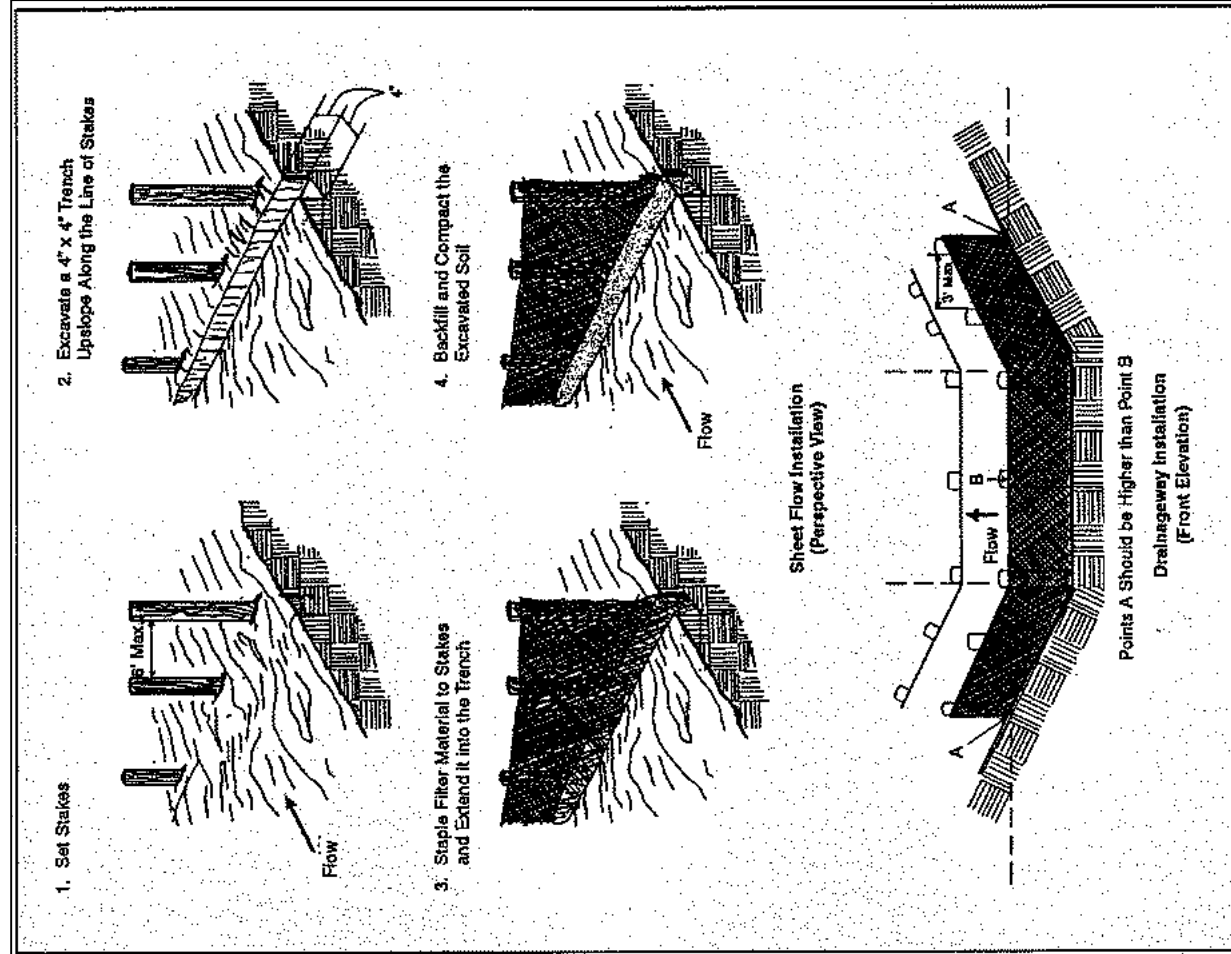
Silt Fence This sediment barrier uses standard strength or extra strength synthetic filter fabrics. It is designed for situations in which only sheet or overland flows are expected. (See Plate 4.06a)

1. The height of a silt fence shall not exceed 36 inches (90 cm). Higher fences may be constructed if approved by the local authority. The filter fabric shall be purchased in a continuous roll cut to the length of the barrier to avoid the use of joints. When joints are necessary, filter cloth shall be spliced as described in item No. 8 below.
2. Posts shall be spaced a maximum of 10 feet (3 m) apart at the barrier location and driven securely into the ground a minimum of 12 inches (30 cm). When extra strength fabric is used without the wire support fence, post spacing shall not exceed 6 feet (1.8 m).
3. A trench shall be excavated approximately 4 inches (10 cm) wide and 4 inches (10 cm) deep along the line of posts and upslope from the barrier.
4. When standard strength filter fabric is used, a wire mesh support fence shall be fastened to the posts. The wire mesh support fence shall be spaced a maximum of 12 inches (30 cm) long, the wires or hog rings. The wire shall extend into the trench a minimum of 2 inches (5 cm) and shall not extend more than 36 inches (90 cm) above the original ground surface.
5. The standard strength filter fabric shall be stapled or wired to the fence, and 6 inches (20 cm) of the fabric shall be extended into the trench. The fabric shall not extend more than 36 inches (90 cm) above the original ground surface.
6. When extra strength filter fabric and closer post spacing are used, the wire mesh support fence may be eliminated. In such a case, the filter fabric is stapled or wired directly to the posts with all other provisions of item No. 6 applying.
7. When attaching two silt fences together, place the end post of the second fence inside the end post of the first fence. Rotate both posts at least 180 degrees on a clockwise direction to create a tight seal with the filter fabric. Drive both posts into the ground and bury the flap. (See Plate 4.06b)
8. The trench shall be backfilled and the soil compacted over the filter fabric.
9. The most effective application consists of a double row of silt fences spaced a minimum of three feet apart. The three foot separation is so that if the first row collapses it will not fall on the second row. Wire or synthetic mesh is may be used to reinforce the first row. (See Plate 4.06c)
10. When used to control sediments from a steep slope, silt fences should be placed away from the toe of the slope for increased holding capacity. (See Plate 4.06f)
11. Silt fences shall be removed when they have served their useful purpose, but not before the upslope area has been permanently stabilized.
12. Maintenance

1. Silt fences and filter barriers shall be inspected immediately after each rainfall and at least daily during prolonged rainfall. Any required repairs shall be made immediately.

2. Should the fabric on a silt fence or filter barrier decompose or become ineffective before the end of the expected usable life and the barrier still be necessary, the fabric shall be replaced promptly.

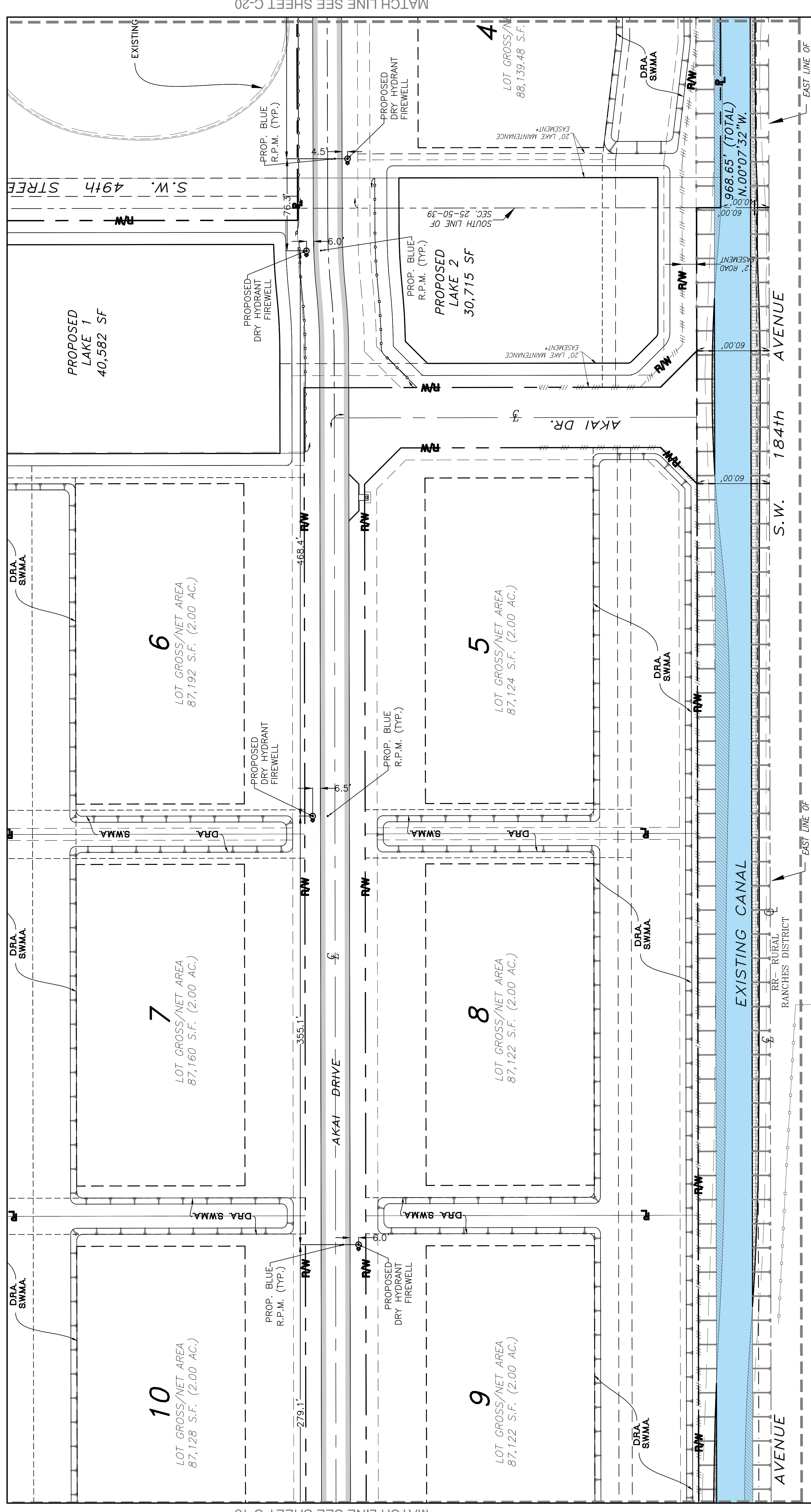
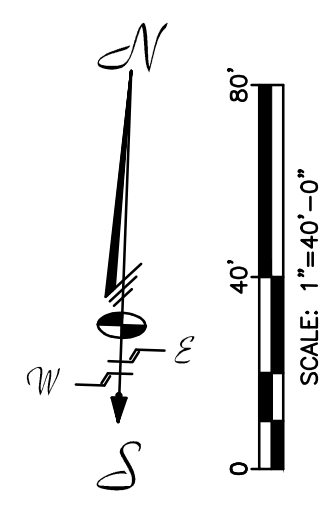
3. Sediment deposits should be removed after each storm event. They must be removed when deposits reach approximately one-half the height of the barrier.



REVISIONS	Date	By	Remarks
	6/2/15	GENEVA PERDUE	LOT

Drawn By: YM Date: 04/29/15
 Checked By: JCT Date: 04/23/15
 Order No: 201503 FR 0000 Pg. 00
 Drawing Status: Preliminary
 By: John C. Tello
 Asst. Vice Pres.
 Registered Engineer No. 71567
 State of Florida

Scale: As Noted
 File No: B-1977
 Dwg. No: C-19
 OF: 41



968.65' (TOTAL)
 N.00°07'32" W.
 EAST LINE OF AVENUE

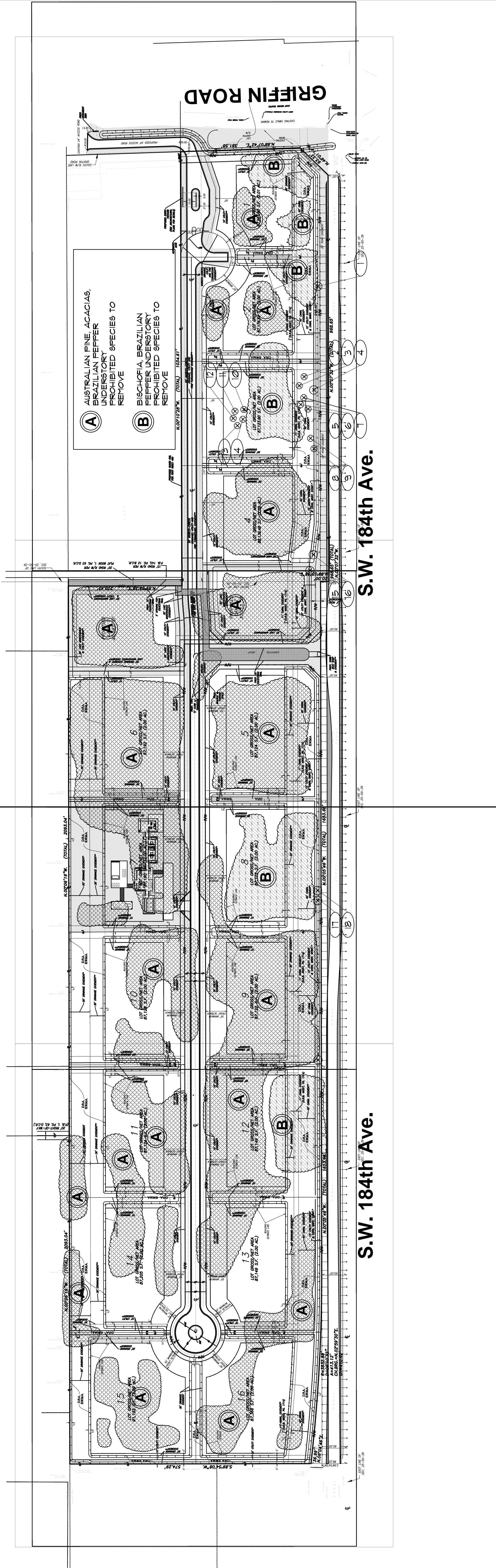
AKAI ESTATES

No.	Date	Revision
1.	11/4/2015	Per Town Staff review and comments.

designed: JFS
drawn: CURRO
checked: LU. SEEFER
approved: J. F. SOCCASH
project #: 15-09
scale: A5 SHOUN
date: Apr. 13, 2015
Folio:

JAMES F. SOCCASH
RLA # 00001932

Drawing: **TD-1**



TREE NUM	SYM	COMMON NAME	BOTANICAL NAME	HEIGHTSPREAD	DBH inches	STATUS	TREE DBH LOSS	COMMENTS
1	BIS	BICHOFIA	Bischofia sp.	25	10	REMOVE		PROHIBITED SPECIES-MUST REMOVE
2	PB	RED BAY	Persea borbonia	15	12	REMOVE	4	
3	PB	RED BAY	Persea borbonia	15	12	REMOVE	4	
4	BIS	BICHOFIA	Bischofia sp.	25	10	REMOVE		PROHIBITED SPECIES-MUST REMOVE
5	PB	RED BAY	Persea borbonia	15	12	REMOVE	4	
6	PB	RED BAY	Persea borbonia	15	12	REMOVE	4	
7	PB	RED BAY	Persea borbonia	15	12	REMOVE	4	
8	PB	RED BAY	Persea borbonia	15	12	REMOVE	4	
9	PB	RED BAY	Persea borbonia	15	12	REMOVE	4	
10	PB	RED BAY	Persea borbonia	15	12	REMOVE	4	
11	PB	RED BAY	Persea borbonia	15	12	REMOVE	4	
12	PB	RED BAY	Persea borbonia	15	12	REMOVE	4	
13	PB	RED BAY	Persea borbonia	15	12	REMOVE	4	
14	PB	RED BAY	Persea borbonia	15	12	REMOVE	4	
15	BIS	BICHOFIA	Bischofia sp.	25	10	REMOVE		PROHIBITED SPECIES-MUST REMOVE
16	BIS	BICHOFIA	Bischofia sp.	25	10	REMOVE		PROHIBITED SPECIES-MUST REMOVE
17	BIS	BICHOFIA	Bischofia sp.	25	10	REMOVE		PROHIBITED SPECIES-MUST REMOVE
18	BIS	BICHOFIA	Bischofia sp.	25	10	REMOVE		PROHIBITED SPECIES-MUST REMOVE
TOTALS							48	0
TREE LOCATIONS AND IDENTIFICATIONS ARE APPROXIMATE PER PLANS PROVIDED AND FIELD WALK-THROUGH ON JANUARY 30, 2015.								
PROHIBITED SPECIES ARE NOT COUNTED TOWARD DBH LOSS PER TOWN TREE PRESERVATION CODE.								

A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM THE TOWN OF SOUTHWEST RANCHES FOR REMOVAL OF ANY OR ALL TREES OR FALLS.
SEE LANDSCAPE PLANS, SHEETS FOR SITE LANDSCAPE PLANS AND RESPECTIVE SECTOR LANDSCAPE PLANS, LANDSCAPE LEGEND, CALCULATIONS, ETC.

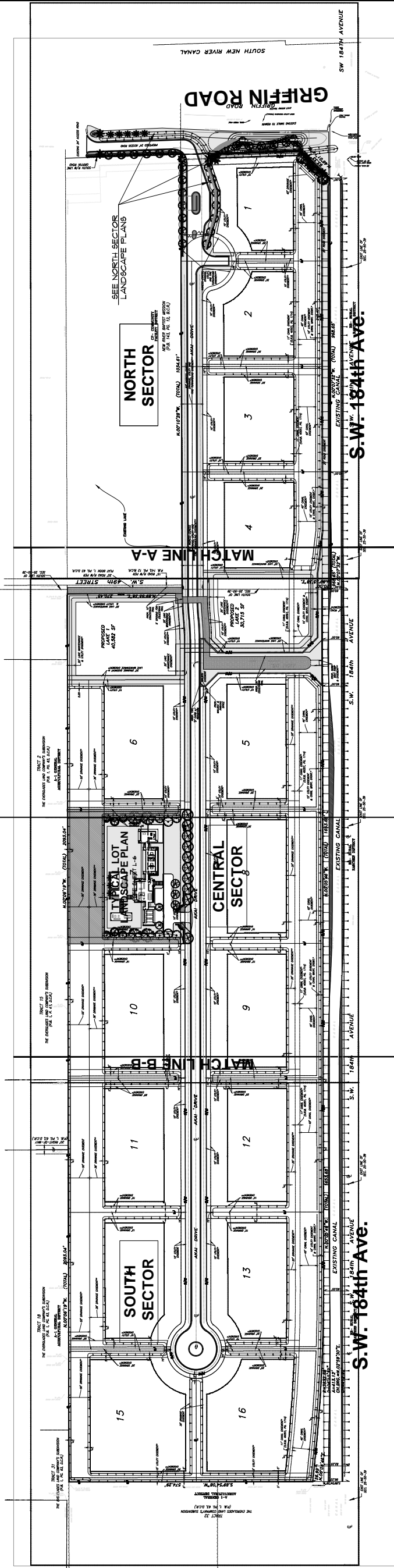
TREE DISPOSITION PLAN

No.	Date	Revision
1	11/14/18	Per Town Staff review and comments.

designed: JFS
drawn: CURRO
checked: LU, SEEFER
approved: J. F. SOCCASH
project #: 18-09
scale: AS SHOWN
date: Apr. 13, 2018

Follow:
JAMES F. SOCCASH
FLA # 0000133

Drawing:
L-1



SITE LANDSCAPE DESIGN NARRATIVE
DOWNEY ESTATES, GRIFFIN ROAD AND S.W. 184th Ave., SOUTHWEST RANCHES, FL 33332
2.March.18

SITE PREPARATION

- SP-1 EXISTING LANDSCAPE BERMS ALONG GRIFFIN ROAD WILL HAVE TO BE MODIFIED TO ALLOW FOR PROPOSED VEHICULAR ENTRANCE AND SAFE SIGHT TRIANGLE CLEARANCES INTO DOWNEY ESTATES. THIS INCLUDES THE EXISTING LANDSCAPE BERM DIRECTLY ADJACENT TO DOWNEY ESTATES AND THAT LANDSCAPE BERM TO THE WEST OF THE PROPOSED ENTRANCE THAT WILL BE MODIFIED DUE TO ROADWAY (NEW TURNAROUND) LANE CHANGES.
- SP-2 EXISTING LANDSCAPE BERM AT EAST CORNER WILL BE REDUCED TO PROVIDE FOR PROJECT SIGNAGE PER PREVIOUS APPROVED LANDSCAPE PLANS.
- SP-3 EXISTING OVERGROWN AND UNMAINTAINED VEGETATION ON BERMS TO BE REMOVED AND REPLACED IN ITS ENTIRETY TO PROVIDE A MORE CONSISTENT LANDSCAPE PRESENTATION WITH GRIFFIN ROAD AND DOWNEY ESTATES. (SEE LANDSCAPE PLANS)
- SP-4 A TREE REMOVAL PERMIT WITH BRISBANE COUNTY DEPARTMENT OF ENVIRONMENTAL PROTECTION (BEP) WILL BE REQUIRED TO REMOVE ANY TREES ON THE LANDSCAPE BERMS.

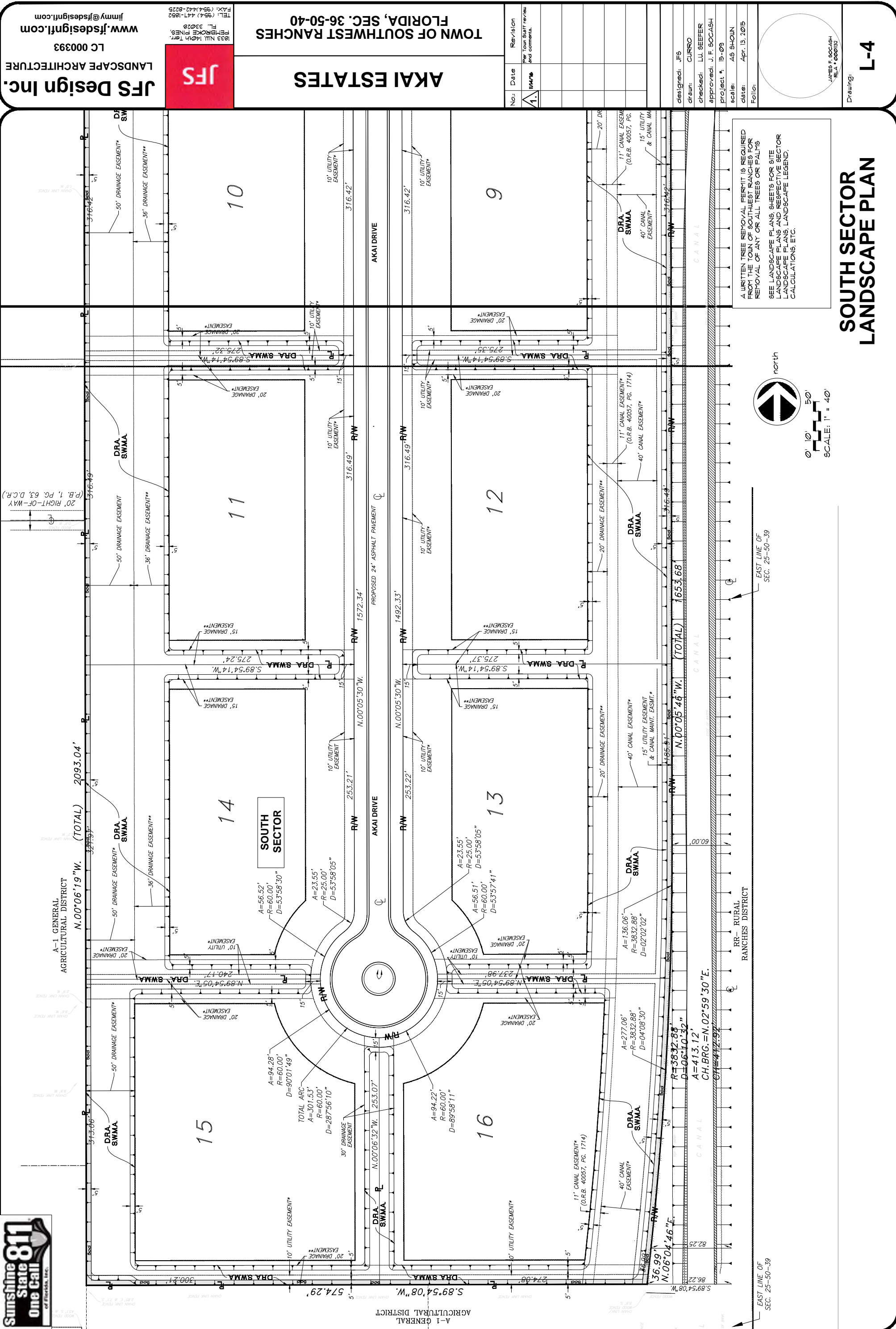
LANDSCAPE PLANS

- LP-1 PROPOSED LANDSCAPE PLANTINGS ALONG NEWLY REMODELED LANDSCAPE BERM ON GRIFFIN ROAD TO CONSIST OF A CONTINUOUS LANDSCAPE PLANTINGS OF NATIVE SHRUB TREES, NATIVE UNDERSTORY COMPONENTS TREES, NATIVE HEDGING NATIVE GROUNDCOVERS AND NATIVE ACCENTS, CONSISTENT WITH GRIFFIN ROAD PLANTINGS EAST AND WEST OF THIS PROPERTY.
- LP-2 FUTURE PROJECT SIGNAGE IS SHOWN AT THE NORTHEAST CORNER OF THE PROPERTY, WITH INTRINSIC PLANTINGS WHICH THE PLANTINGS BLEND INTO THE PROPOSED LANDSCAPE BERM PLANTINGS TO FORM A CONTINUOUS COMPOSITION OF NATIVE PLANTINGS FOR BOTH LANDSCAPE BERMS AND PROJECT SIGNAGE PLANTINGS.
- LP-3 PROJECT ENTRANCE SIGNAGE IS SHOWN AT THE PROPOSED ENTRANCE ACCESS FROM GRIFFIN ROAD WITH NATIVE PLANTINGS AND CONTINUATION OF LANDSCAPE PLANTINGS FROM REMODELED LANDSCAPE BERM PLANTINGS.
- LP-4 PRINCIPAL ENTRANCE DRIVE IS LINED ON BOTH SIDES WITH LIVE OAK TO THE FIRST SINGLE FAMILY RESIDENTIAL PROPERTIES (LOTS 1 AND 2).

SPECIFIC SINGLE FAMILY RESIDENTIAL LANDSCAPE LOT PLANTINGS:
PER SEC. 07-116 SINGLE FAMILY REQUIREMENTS.
ALL REQUIREMENTS AS STATED IN THIS SECTION SHALL BE MET ON A LOT-BY-LOT BASIS TO INCLUDE THOSE ITEMS FOR SECTION 703 SHRUBS AND TREE REQUIREMENTS... A MINIMUM OF THREE (3) TREES OF TWO (2) DIFFERENT SPECIES AND TEN (10) SHRUBS SHALL BE PLANTED PER LOT. PLUS ONE (1) TREE AND THREE (3) SHRUBS PER THREE THOUSAND (3,000) SQUARE FEET OF LOT AREA. HOWEVER, THESE SHALL BE NO MORE THAN TEN (10) TREES AND THIRTY (30) SHRUBS REQUIRED PER NET ACRE.

A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM THE TOWN OF SOUTHWEST RANCHES FOR REMOVAL OF ANY OR ALL TREES OR PALMS. SEE LANDSCAPE PLANS SHEETS FOR SITE LANDSCAPE PLANS AND RESPECTIVE SECTOR LANDSCAPE PLANS, LANDSCAPE LEGEND, CALCULATIONS, ETC.
CONTRACTOR AND LANDSCAPE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH THE LANDSCAPE INSPECTOR OF TOWN OF SOUTHWEST RANCHES PRIOR TO COMMENCEMENT OF WORK.

SITE LANDSCAPE PLAN



JFS

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LANDSCAPE ARCHITECTURE
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Pembroke Pines, FL 33028
TEL: (954) 447-1852
FAX: (954) 442-8225

AKAI ESTATES

TOWN OF SOUTHWEST RANCHES
FLORIDA, SEC. 36-50-40

No.	Date	Revision
1		Per Town Staff review and comments.

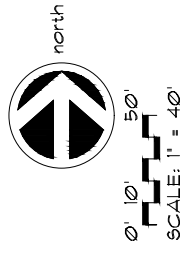
designed: JFS
drawn: CURRO
checked: LU SEEFER
approved: J. F. SOCCASH
project #: 15-09
scale: AS SHOWN
date: Apr. 13, 2015
folio:

JAMES F. SOCCASH
FLA. # 0000133

Drawing: **L-4**

A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM THE TOWN OF SOUTHWEST RANCHES FOR REMOVAL OF ANY OR ALL TREES OR PALMS

SEE LANDSCAPE PLANS SHEETS FOR SITE LANDSCAPE PLANS AND RESPECTIVE SECTOR LANDSCAPE PLANS, LANDSCAPE LEGEND, CALCULATIONS, ETC.



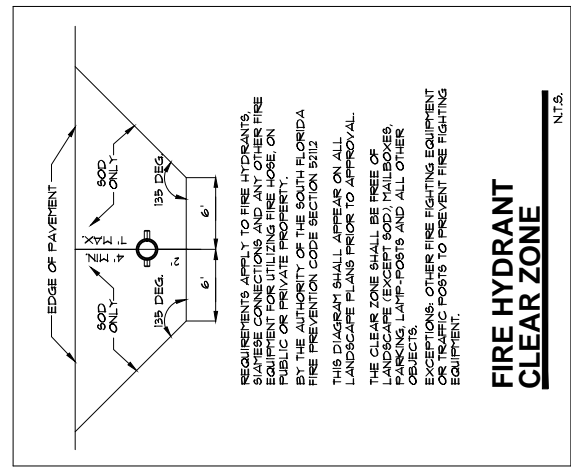
SOUTH SECTOR
LANDSCAPE PLAN

A-1 GENERAL AGRICULTURAL DISTRICT
N. 00°06'19"W. (TOTAL) 2093.04'

EAST LINE OF SEC. 25-50-39

EAST LINE OF SEC. 25-50-39

A-1 GENERAL AGRICULTURAL DISTRICT



FIRE HYDRANT CLEAR ZONE

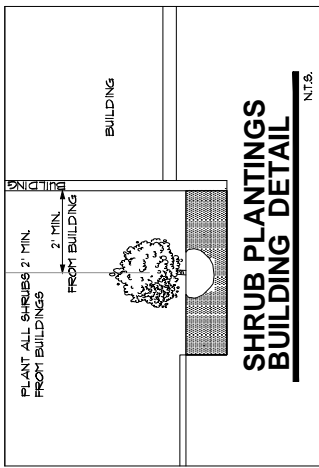
REQUIREMENTS APPLY TO FIRE HYDRANTS, EQUIPMENT FOR UTILIZING FIRE HOSE ON PUBLIC OR PRIVATE PROPERTY, BY THE AUTHORITY OF THE SOUTH FLORIDA FIRE PREVENTION CODE SECTION 5312

THIS DIAGRAM SHALL APPEAR ON ALL LANDSCAPE PLANS PRIOR TO APPROVAL.

THE CLEAR ZONE SHALL BE FREE OF LANDSCAPE (EXCEPT BODI MALLBOXES, PARKING LAMP-POSTS) AND ALL OTHER OBJECTS.

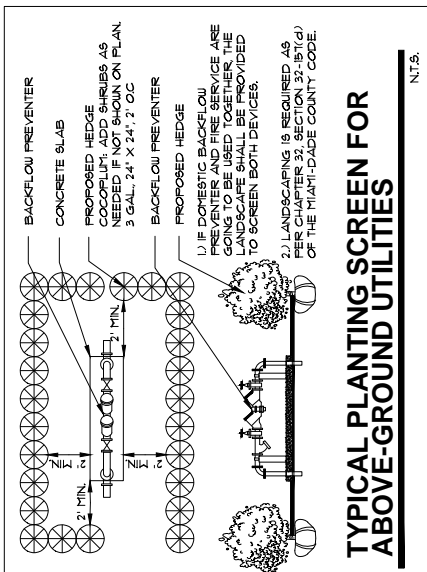
EXCEPTIONS: OTHER FIRE FIGHTING EQUIPMENT, LAMP-POSTS TO PREVENT FIRE FIGHTING EQUIPMENT.

N.T.S.



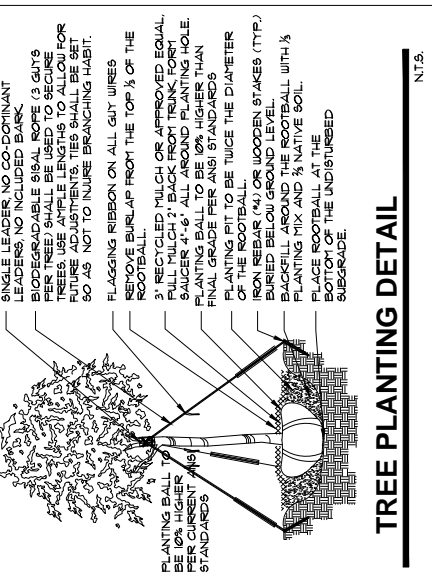
SHRUB PLANTINGS BUILDING DETAIL

N.T.S.



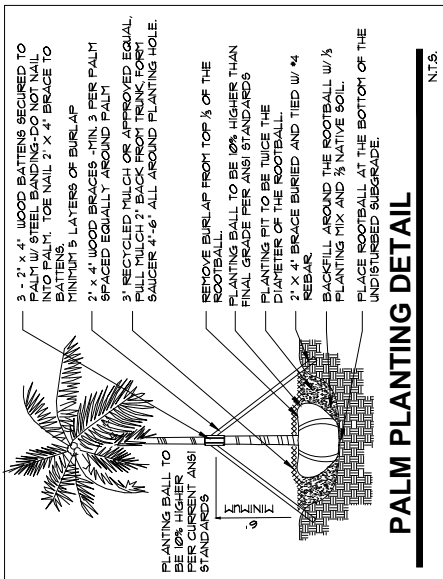
TYPICAL PLANTING SCREEN FOR ABOVE-GROUND UTILITIES

N.T.S.



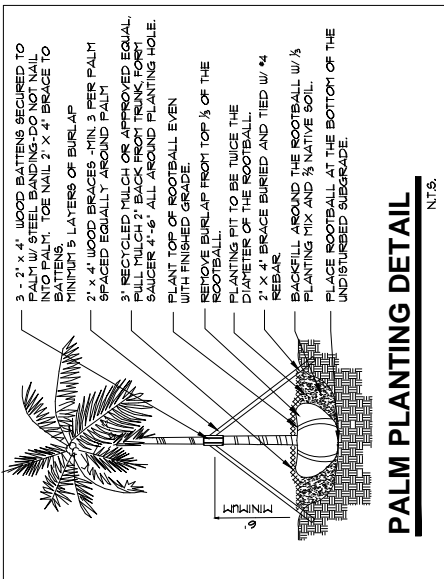
TREE PLANTING DETAIL

N.T.S.



PALM PLANTING DETAIL

N.T.S.



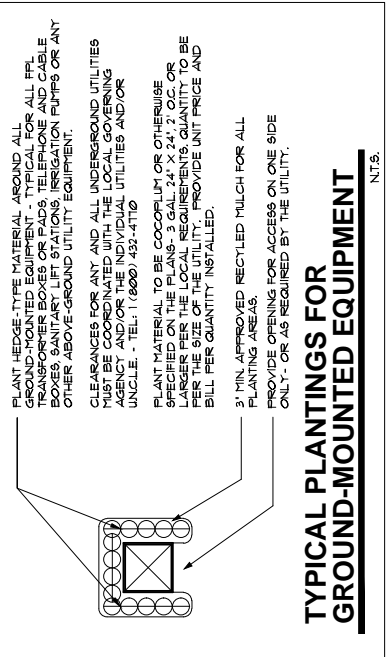
PALM PLANTING DETAIL

N.T.S.

PLANTING SOIL:
NOTE: ALL LANDSCAPED AREAS INCLUDING DRIVEWAYS, SIDEWALKS, SHALL BE EXCAVATED TO A DEPTH OF 20 INCHES, SHALL BE FILL WITH COMPACTED MATERIAL, LIME ROCK, ETC. AND BACKFILLED WITH A CLEAN, APPROVED BACKFILL. 50/50 TOPSOIL SHALL BE APPLIED TO A DEPTH OF 6 INCHES. ALL SOILS MUST BE TESTED WITH FOR ALL SOID AREAS. THE CONTRACTOR SHALL CALCULATE AND PROVIDE A UNIT AND AN EXTENDED PRICE FOR THIS ITEM.

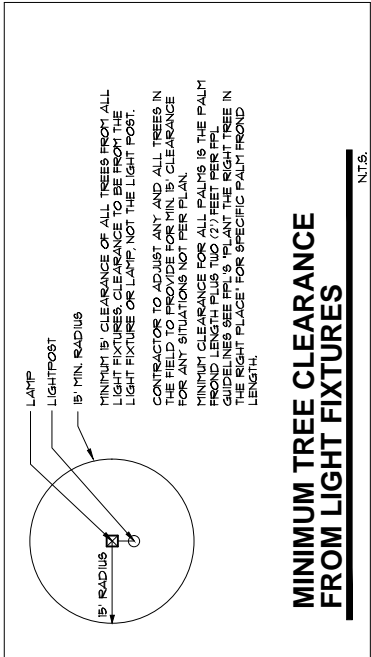
FERTILIZATION:
ONE COMPLETE APPLICATION OF GRANULAR FERTILIZER SHALL BE APPLIED PRIOR TO FINAL ACCEPTANCE AND APPROVAL BY THE LANDSCAPE CONTRACTOR. THE FERTILIZATION PROGRAM MANAGER SHALL BE SUBMITTED TO THE PROJECT MANAGER FOR AN ANNUAL FERTILIZATION APPLICATION PROGRAM. FERTILIZERS SHALL BE PER AN APPROVED EQUAL. CONTRACTOR SHALL SUBMIT FERTILIZATION AS A SEPARATE ITEM IN THE BID.

FERTILIZATION SHALL BE AS FOLLOWS: TREES: 2-06-08 (AFEC * 523) / RATE: 15 LBS / INCH OF DIA. * DBH PALMS: 0-04-10 (AFEC * 1716) / RATE: 15 LBS / INCH OF DIA. * DBH SHRUBS (EXCEPT PALMS): 0-04-10 (AFEC * 1716) / RATE: 15 OZ / FT. OF HEIGHT



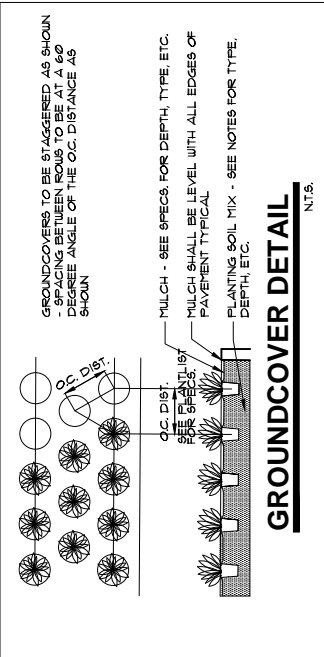
TYPICAL PLANTINGS FOR GROUND-MOUNTED EQUIPMENT

N.T.S.



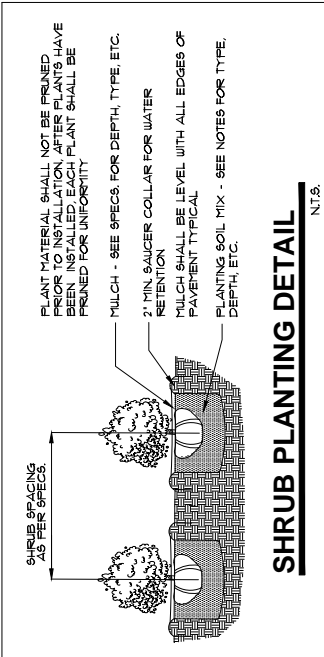
MINIMUM TREE CLEARANCE FROM LIGHT FIXTURES

N.T.S.



GROUNDCOVER DETAIL

N.T.S.



SHRUB PLANTING DETAIL

N.T.S.

LANDSCAPE NOTES

1. ALL PLANT MATERIAL SHALL BE FLORIDA NO. 1 GRADE OR BETTER.
2. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE LOCATION OF AND AVOID AND PROTECT UTILITY LINES, BURIED CABLES, AND OTHER UTILITIES.
3. TREE, PALM, ACCENT AND BED LINES ARE TO BE LOCATED IN THE FIELD AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. ALL PLANTING SOIL SHALL BE 50/50 TOPSOIL/SAND MIX FREE OF CLAY, STONES, ROCKS OR OTHER FOREIGN MATTER. THIS SPECIFICATION INCLUDES ALL BACKFILL FOR BERMS AND OTHER LANDSCAPE AREAS.
5. SODDED-LAWN AREAS:
 - 2\"/>
6. THE LANDSCAPE CONTRACTOR SHALL CALCULATE AND SUBMIT AN ITEMIZED PRICE FOR THE 2\"/>
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESPONSIBILITY OF THE PLANTING, SHRUBS AND GROUNDCOVERS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR AND BE INCLUSIVE WITH THE LANDSCAPE BID.
8. CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR AND LEAVE PROVISIONS FOR ALL INCLUDING UNDERGROUND UTILITY LINE LOCATIONS DIAL IN NO CUTS, AS REQUIRED BY LAW.
9. ALL PLANTING BEDS SHALL BE MULCHED TO A DEPTH OF 3\"/>
10. SOIL SHALL BE ARGENTINE 'BAHIA' OR ST. AUGUSTINE 'FLORATANT', AS SHOWN ON THE PLANS, STRONGLY ROOTED, FREE FROM WEED, RINGUS, INSECTS AND OTHER PESTS. SOIL SHALL BE TESTED AND FOUND TO BE FREE FROM ALL TOXIC SUBSTANCES. SOIL SHALL BE TESTED AND FOUND TO BE FREE FROM ALL TOXIC SUBSTANCES. SOIL SHALL BE TESTED AND FOUND TO BE FREE FROM ALL TOXIC SUBSTANCES.
11. ALL TREES, PALMS, SHRUBS AND GROUNDCOVERS SHALL CARRY A ONE-YEAR WARRANTY FROM THE DATE OF FINAL ACCEPTANCE.
12. ALL TREES AND PALMS SHALL BE STAKED PER ACCEPTED STANDARDS BY THE FLORIDA NURSERYMEN & GROWERS LANDSCAPE ASSOCIATION (FNGLA). THERE SHALL BE ONE FINAL INSPECTION FOR APPROVAL BY THE PRESIDING ARCHITECT. ALL FLORIDA BUILDING CODE APPENDIX 'F' IRRIGATION REQUIREMENTS SHALL BE STRICTLY ADHERED TO FOR INSTALLATION AND MAINTENANCE. ALL IRRIGATION SYSTEMS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE IRRIGATION SCHEDULES.
13. EXISTING IRRIGATION SYSTEM (IF APPLICABLE) SHALL BE RECONFIGURED TO COMPLY WITH THOSE SPECIFICATIONS AS OUTLINED ABOVE.
14. CONTRACTOR SHALL PROVIDE A WATER TRUCK DURING PLANTING TO INSURE PROPER WATERING IN DURING INSTALLATION AND WILL BE RESPONSIBLE FOR CONTINUAL WATERING UNTIL FINAL ACCEPTANCE BY THE OWNER.
15. ALL EXISTING TREES, PALMS AND PLANT MATERIAL TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. CONTRACTOR SHALL INSTALL PROTECTIVE BARRIERS SUCH AS TEXAS PROTECTIVE FENCING OR AS SHOWN ON THE PLANS. ALL EXISTING TREES, PALMS AND PLANT MATERIAL TO REMAIN SHALL BE LOCATED TO INCLUDE THE DRIPLINE OF THE TREES, PALMS AND PLANT MATERIAL WHERE POSSIBLE. THE CONTRACTOR SHALL TAKE EXTRA CAUTION TO PREVENT ANY DAMAGE TO THE TRUNK, BRANCHES, ROOTS, ROOT ZONE AREAS AND ADJACENT GRADES.
16. EXISTING TREES AND PALMS TO REMAIN SHALL BE TRIMMED PER ANSI-300 STANDARDS. SUPERVISION OF THE TRIMMING SHALL BE PERFORMED BY AN ISA-CERTIFIED ARBORIST.
17. ALL EXISTING TREES AND PALMS SHALL BE 'LIFTED AND THINNED' TO PROVIDE FOR AN 8' MINIMUM CLEARANCE FOR SIDEWALKS AND PEDESTRIAN WALKWAYS AND A 14' MINIMUM CLEARANCE FOR ROADWAYS, DRIVEWAYS, AND ALL VEHICULAR USE AREAS.
18. REMOVAL OF ANY TREES OR PALMS WILL REQUIRE A WRITTEN 'TREE REMOVAL PERMIT' FROM THE LOCAL GOVERNING AGENCY PRIOR TO REMOVAL.
19. ALL PLANTINGS IN NON-IRRIGATED AREAS (IE. RIGHTS OF WAY, SWALES, ETC) SHALL BE WATERED IN THOROUGHLY AND CONTINUED TO BE WATERED THROUGHOUT UNTIL CO. ACCEPTANCE. COORDINATE WITH OWNER AND PROJECT ARCHITECT FOR SCHEDULING OF WATERING. WATERING SHALL BE ESTABLISHED FOR A MINIMUM OF ONE YEAR AFTER CERTIFICATE OF OCCUPANCY ACCEPTANCE.

A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM THE TOWN OF SOUTHWEST RANCHES FOR REMOVAL OF ANY OR ALL TREES OR PALMS

SEE LANDSCAPE PLANS SHEETS FOR SITE LANDSCAPE PLANS AND RESPECTIVE SECTOR LANDSCAPE PLANS, LANDSCAPE LEGEND, CALCULATIONS, ETC.

LANDSCAPE DETAILS, NOTES, SPECS., ETC.

JFS Design Inc.
LANDSCAPE ARCHITECTURE
LC 000393
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JFS

TOWN OF SOUTHWEST RANCHES
FLORIDA, SEC. 36-50-40
AKAI ESTATES

DESIGNED: JFS
DRAWN: CURRO
CHECKED: LU, SEEFER
APPROVED: J. F. SOCCASH
PROJECT #: 15-09
SCALE: AS SHOWN
DATE: APR. 13, 2015
FOLLOW: JFS

DATE: 11/14/18
REVISION: Per Town Staff review and comments.



Drawing: L-5



N.00°06'19"W. (TOTAL) 2093.04'

50' DRAINAGE EASEMENT*

36' DRAINAGE EASEMENT**

15' DRAINAGE EASEMENT**

DOWNEY RANCH ESTATES, SOUTHWEST RANCHES, FL. 33330			
LANDSCAPE REQUIREMENTS	REQUIRED TREES	PROVIDED TREES	PROVIDED SHRUBS
Sec. 015-116, Single-family requirements. 1. Tree Specifications 3.1465 per 2,000 s.f. of lot 16 TREES MAXIMUM PER ACRE 38 SHRUBS MAXIMUM PER ACRE 83,120 S.F. AD 260 - 14,580 18 FIRST ACRES - 18 (RAW RANG)	20	20	0
SHRUBS 26 (FIRST ACRES) + 26 (COVER RANGE)	68	68	68
TOTALS	20	68	68
Sec. 015-016. Street Tree Requirements NOT SPECIFICALLY DEFINED FOR SINGLE FAMILY RESIDENTIAL 28' L.I., (35' - 34' driveway)	10	10	0
NATIVE PLANTINGS (50% minimum) NATIVE TREES (50% minimum) NATIVE SHRUBS (50% minimum) NATIVE GROUNDCOVERS (10% minimum)	10	12	68

SYM.	NATIVE	NAME	BOTANICAL NAME	SPECIFICATION
PROPOSED TREES				
BS	YES	6 GUMBO LIMBO	Bursera simaruba	12' x 6" spr., 2 1/2' cal.
C-AL	3	BRAZIL BEAUTYLEAF	Calophyllum brasiliense	12' x 6" spr., 2 1/2' cal.
CD	YES	2 PIGEON PLUM	Coccoloba diversifolia	12' x 6" spr., 2 1/2' cal.
DR	4	PONCIANA	Dalmanis regia	14' x 6" spr., 3' cal.
LB	YES	6 WILD TARTARIND	Lyelloma latifolia	12' x 6" spr., 2 1/2' cal.
QV6	YES	10 LIVE OAKS	Quercus virginiana	16' x 1" spr., 4" cal., 6' c.t.
PALMS				
SHRUBS				
CIT	YES	60 COCOPLUM	Chysochloa esaco	1 GAL., 30" x 24" full, 24" oc.
ACCENT PLANTS AND GROUNDCOVERS				
SOD				
BAH	33,000 SF.	'ARGENTINE' BAHIA SOD	Paspalum notatum	SOLID SOD, price per s.f.
FLO	40,000 SF.	'FLORATAP' ST. AUGUSTINE	Stenotaphrum secundatum	SOLID SOD, price per s.f.
TOPSOIL:				
8 C.Y.	TREES, PALMS, SHRUBS AND GROUNDCOVERS			
450 C.Y.	AREA TO BE BODDED WITH A 2" DEPTH OF TOPSOIL SPREAD IN PLACE			
10 C.Y.-1"	PINE BARK NUGGETS			MULCH, 3" DEPTH, SPREAD IN PLACE
...	TOPSOIL, SOD AND MULCH QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR TO PROVIDE A UNIT PRICE PER UNIT AND WILL BE PAID ON THAT UNIT PRICE BASIS UPON FINAL INSPECTION AND APPROVAL.			

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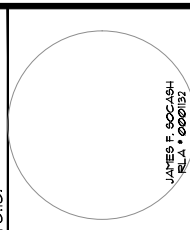
JFS

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FAX: (954) 442-8225

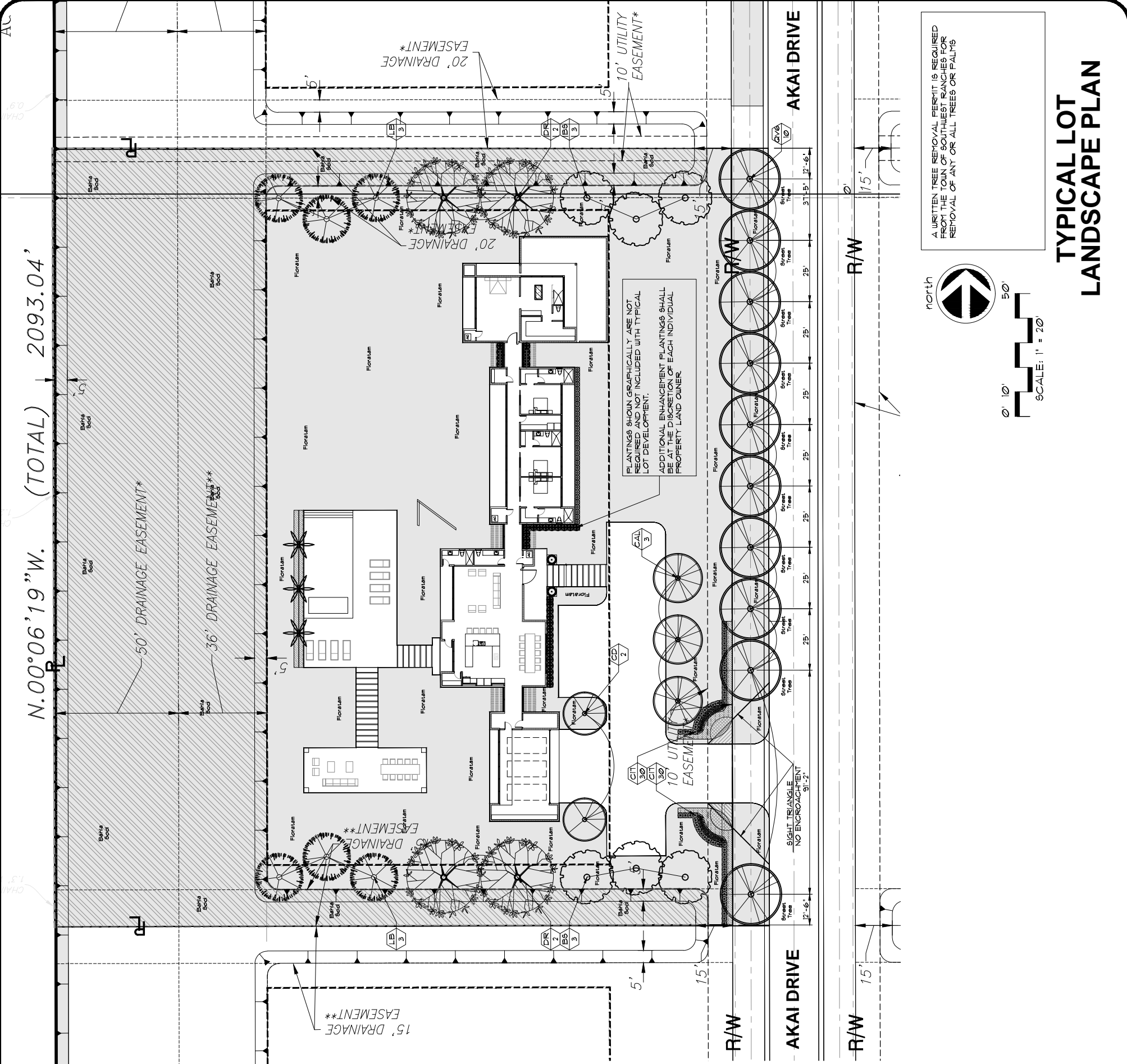
AKAI ESTATES
TOWN OF SOUTHWEST RANCHES
FLORIDA, SEC. 36-50-40

No.	Date	Revision
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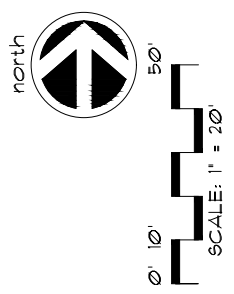
designed: JFS
drawn: CURRO
checked: LU SEEFER
approved: J. F. SOCCASH
project #: 15-03
scale: AS SHOWN
date: APR. 13, 2015
folio:



Drawing: **L-6**



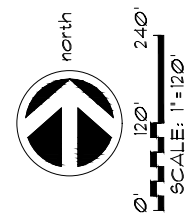
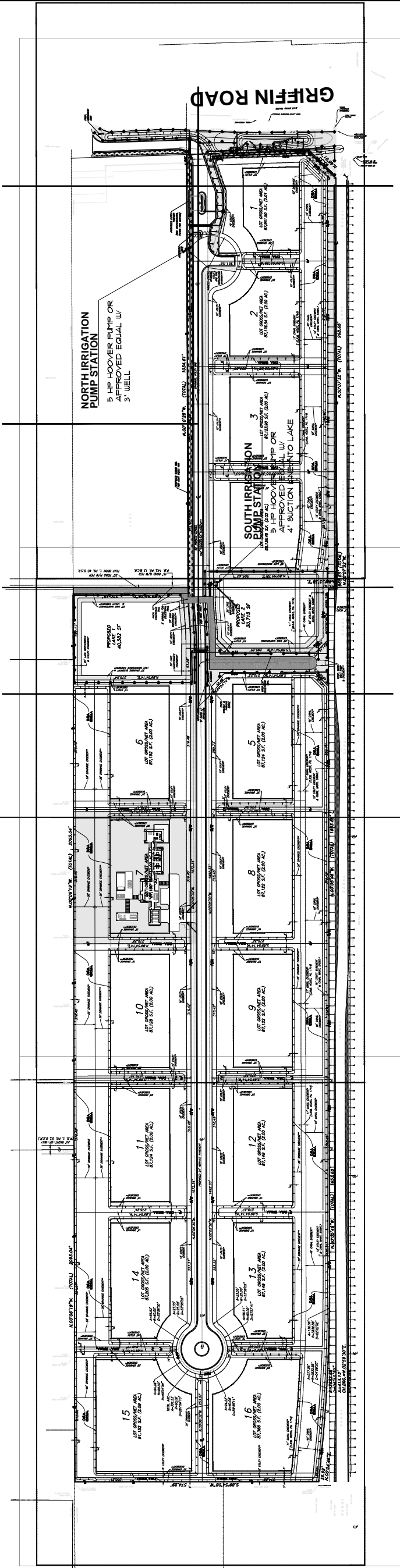
A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM THE TOWN OF SOUTHWEST RANCHES FOR REMOVAL OF ANY OR ALL TREES OR PALMS



TYPICAL LOT LANDSCAPE PLAN

No.	Date	Revision
1		Per Town Staff review and comments.

designed: JFS
drawn: CURRO
checked: LU SEEFER
approved: J. F. SOCCASH
project #: 15-09
scale: AS SHOWN
date: APR. 13, 2015
folio:



A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM THE TOWN OF SOUTHWEST RANCHES FOR REMOVAL OF ANY OR ALL TREES OR PALMS SEE LANDSCAPE PLANS SHEETS FOR SITE LANDSCAPE PLANS AND RESPECTIVE SECTOR CALCULATIONS, ETC.
SEE IRRIGATION PLANS SHEETS FOR SITE IRRIGATION PLANS AND RESPECTIVE SECTOR CALCULATIONS, ETC.

SPECIAL NOTES:
9-1. A ROUGH INSPECTION IS REQUIRED BY THE TOWN OF SOUTHWEST RANCHES PRIOR TO TRENCH BACKFILLING AND A FINAL INSPECTION SHALL BE REQUIRED PRIOR TO COMPLETION OF THE IRRIGATION WORK.
9-2. SOUTH FLORIDA WATER MANAGEMENT WATER RESTRICTIONS, PHASE II ARE IN EFFECT. NEW LANDSCAPE SHALL BE EXEMPT PER GRIND FOR A PERIOD OF SIXTY DAYS AFTER COMMENCEMENT OF CONSTRUCTION AND SHALL ASSUME RESPONSIBILITY AFTER THAT INITIAL PERIOD.

IRRIGATION LEGEND

- NORTH IRRIGATION PUMP STATION - 5 HP HOOPER PUMP W/ 3" WELL, HOOPER PUMP OR APPROVED EQUAL SEE SPECIFICATIONS, IRR-2.4
- SOUTH IRRIGATION PUMP STATION - 5 HP HOOPER PUMP OR APPROVED EQUAL W/ 4" SUCTION LANE INTO LAKE SEE SPECIFICATIONS, IRR-2.4
- ISOLATION GATE VALVE
- 3" PVC Main Supply Line- Sch 40
- RAINBIRD E99-LX MODULAR SERIES W/ RAINBIRD RAIN SENSOR
- RAINBIRD R50 SERIES RAIN SENSOR ATTACHED TO CONTROLLER
- UNION BOX
- W/ WATERPROOF CONNECTORS
- LATERAL LINE (SCH. 160)
- PIPE 1/2 SLEEVE (See Sizing Chart)
- PIPE CONNECTION
- PIPE CROSSING
- ELECTRIC VALVES-RAINBIRD REB SERIES OR APPROVED EQUAL, N 10' VALVE BOX
- ZONE DESIGNATION
- ZONE 4 28 GPM
- RAINBIRD 1900 SERIES STRIP TYPE BUSH (END STRIP), B COL. CENTER STRIP
- RAINBIRD - 5 SERIES W/FS STREAM BUBBLER NOZZLES: 5" RADIUS, 15 GPM
- 5" RADIUS
- 12" RADIUS
- 15" RADIUS

FLORIDA BUILDING CODE- APPENDIX F PART V-A-6

WATER PIPE SIZE	SLEEVE SIZE
3/4"	1 1/2"
1 1/4"	2 1/2"
1 1/2"	3"
2"	4"
3"	6"
4"	8"

SLEEVES TO EXTEND A MIN. 3" BEYOND ALL PAVED AREAS, BACKFILL AND COMPACTION PER APPENDIX F.

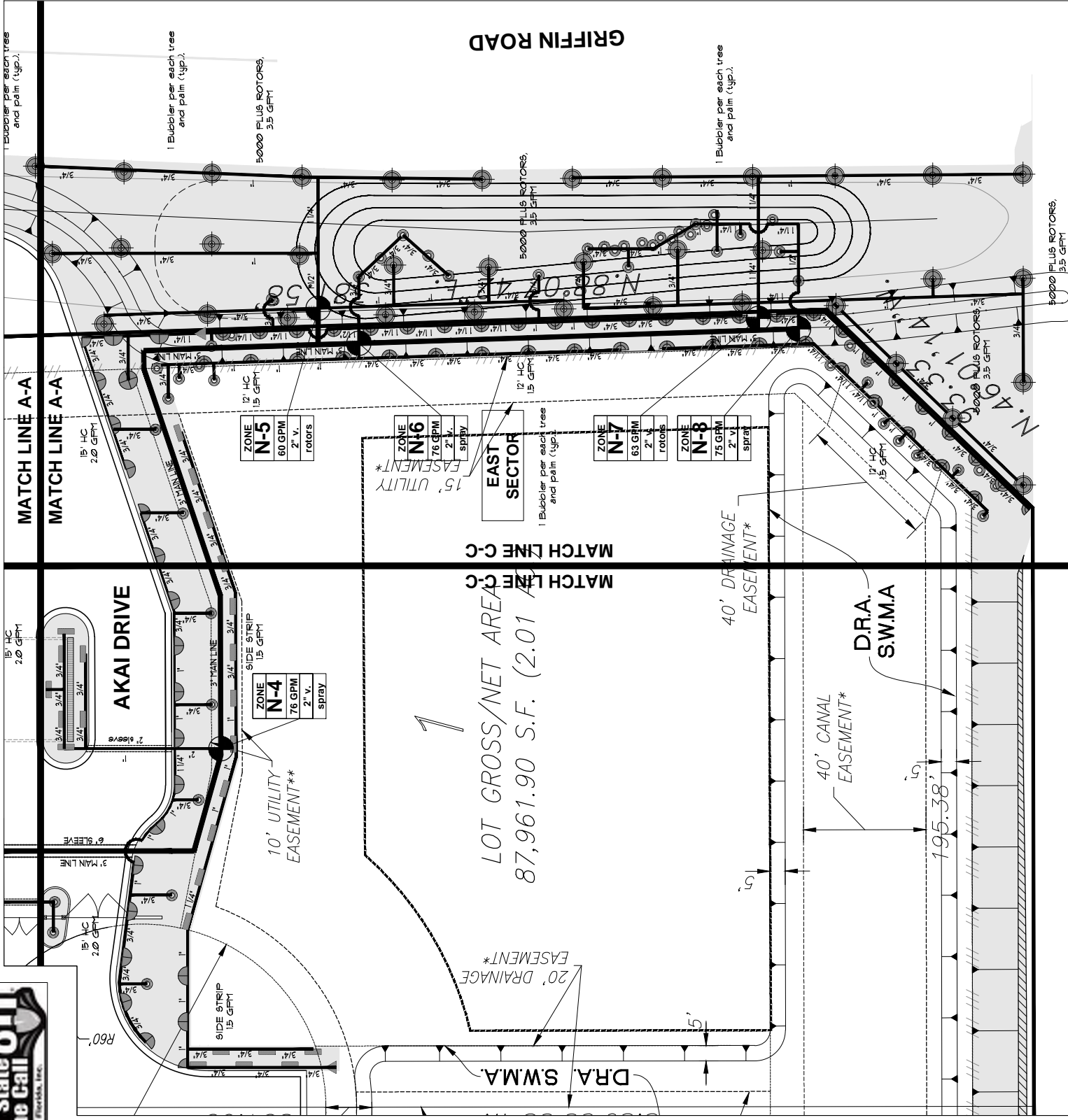
FLORIDA BUILDING CODE- APPENDIX F PIPE INSTALLATION-DEPTH OF COVER

PIPE SIZE (INCHES)	DEPTH OF COVER (INCHES)
1/2" TO 2 1/2"	18" TO 24"
3" TO 5"	24" TO 30"
6" OR GREATER	30" TO 36"

NON-TRAFFIC AND NON-CULTIVATED AREAS

PIPE SIZE (INCHES)	DEPTH OF COVER (INCHES)
1/2" TO 1 1/4"	12"
1 1/2" TO 2"	12" TO 18"
2 1/2" TO 3"	18" TO 24"
4" OR LARGER	24" TO 36"

SITE IRRIGATION PLAN

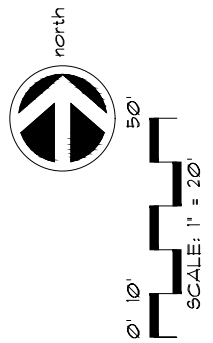


EAST SECTOR

A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM THE TOWN OF SOUTHWEST RANCHES FOR REMOVAL OF ANY OR ALL TREES OR PALMS

SEE LANDSCAPE PLANS SHEETS FOR SITE LANDSCAPE PLANS AND RESPECTIVE SECTOR CALCULATIONS, ETC.

SEE IRRIGATION PLANS SHEETS FOR SITE IRRIGATION PLANS AND RESPECTIVE SECTOR CALCULATIONS, ETC.



JFS Design Inc.
LANDSCAPE ARCHITECTURE
LC 000393
www.jfsdesignfl.com
jimmy@jfsdesignfl.com

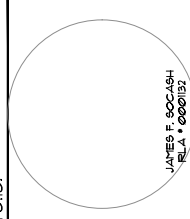
JFS

1833 NW 140th Terr.
TERRACE FLORIDA, FL 32028
TEL: (954) 441-1853
FAX: (954) 442-8225

AKAI ESTATES
TOWN OF SOUTHWEST RANCHES
FLORIDA, SEC. 36-50-40

No.	Date	Revision
1.		Per Town Staff review and comments.

designed: JFS
drawn: CURRO
checked: LU SEEFER
approved: J. F. SOCCASH
project #: 15-09
scale: AS SHOWN
date: APR. 13, 2015
folio:

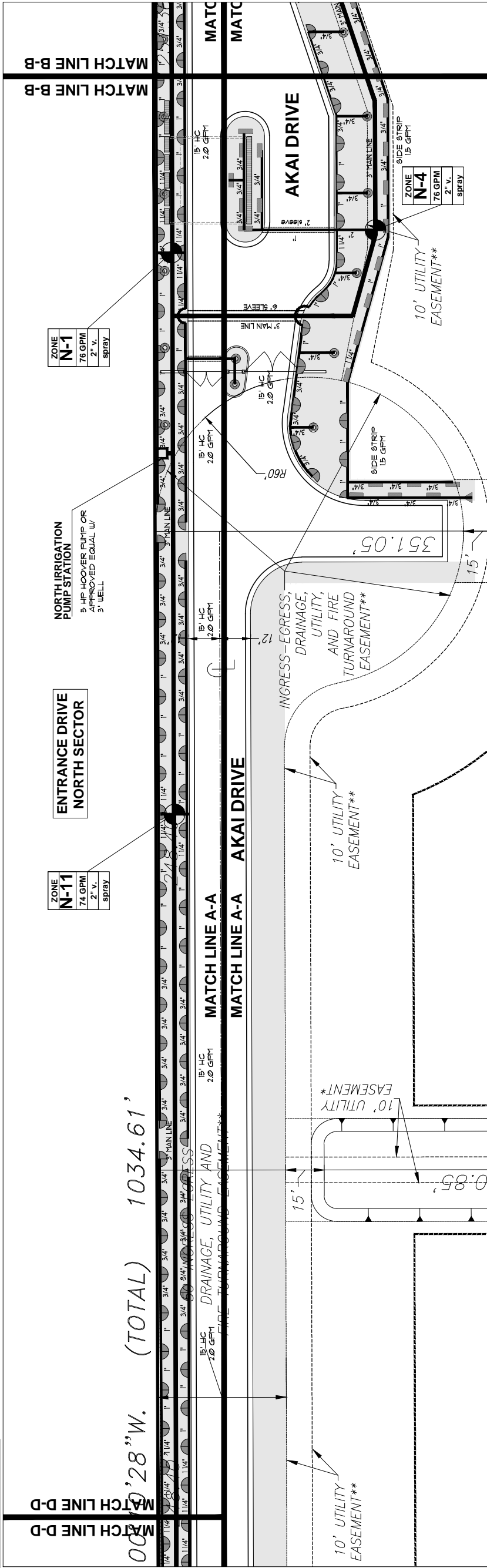


Drawing: **IRR-2.1**

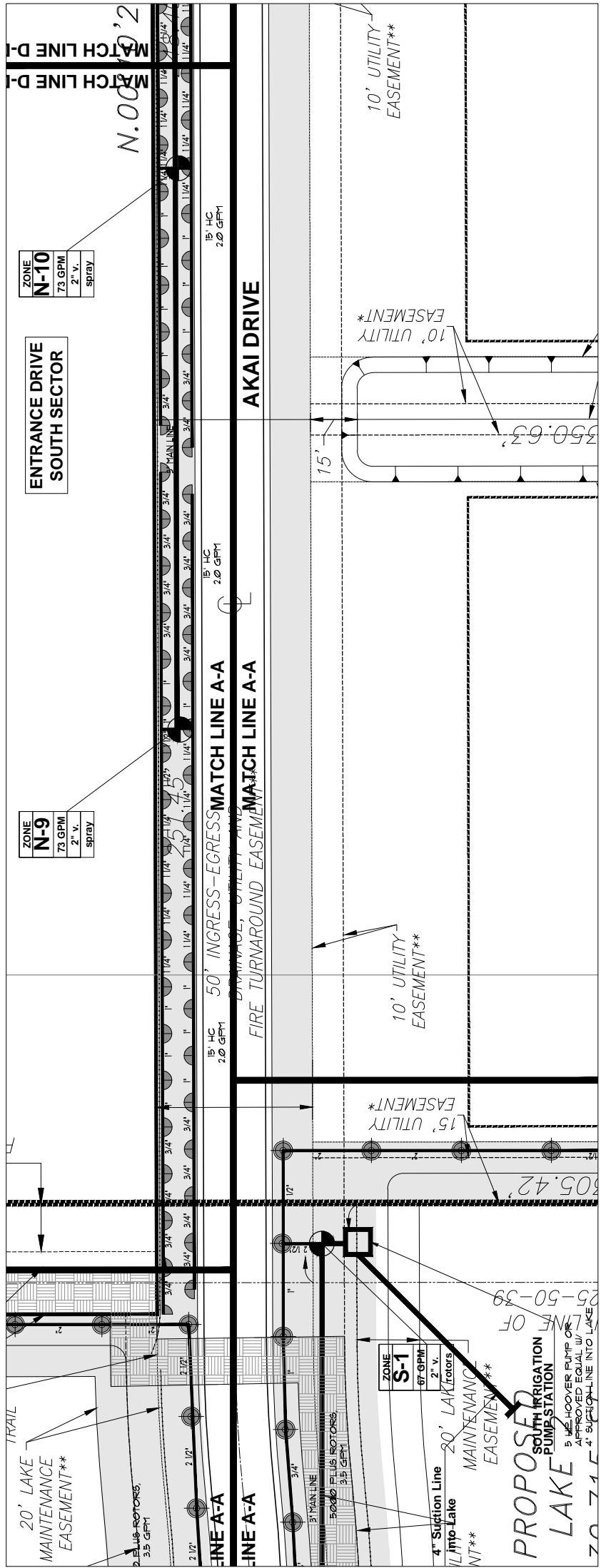
SECTOR IRRIGATION PLAN

No.	Date	Revision
1	11/14/18	Per Town Staff review and comments.

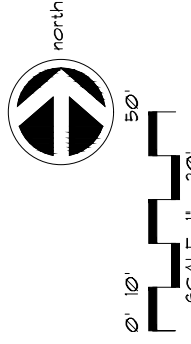
designed: JFS
drawn: CURRO
checked: LU SEEFER
approved: J. F. SOCCASH
project #: 15-09
scale: AS SHOWN
date: APR. 13, 2015
folio:



ENTRANCE DRIVE NORTH SECTOR

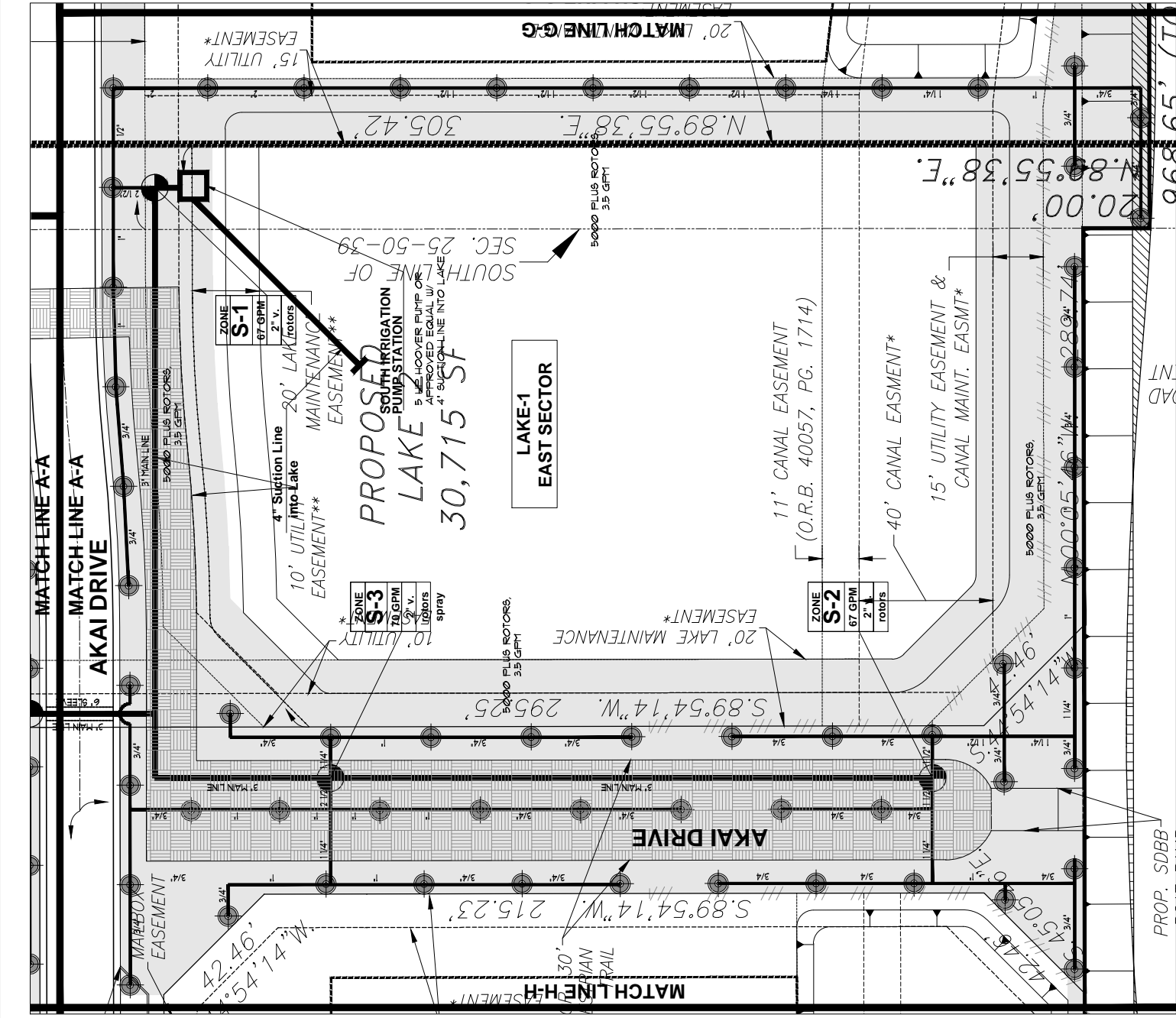


ENTRANCE DRIVE SOUTH SECTOR

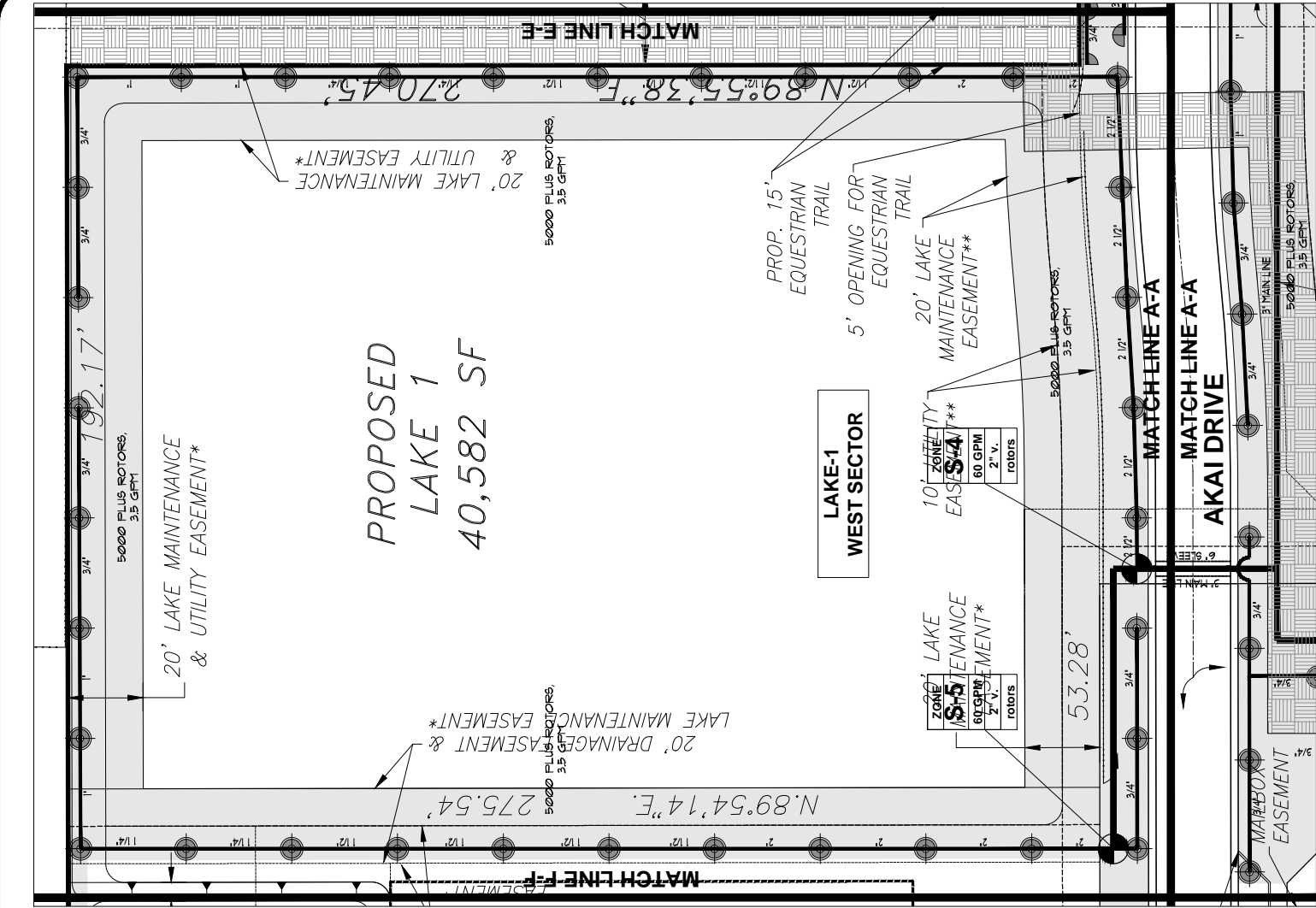


A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM THE TOWN OF SOUTHWEST RANCHES FOR REMOVAL OF ANY OR ALL TREES OR PALMS
SEE LANDSCAPE PLANS, SHEETS FOR SITE LANDSCAPE PLANS AND RESPECTIVE SECTOR LANDSCAPE PLANS, LANDSCAPE LEGEND, CALCULATIONS, ETC.
SEE IRRIGATION PLANS, SHEETS FOR SITE IRRIGATION PLANS AND RESPECTIVE SECTOR IRRIGATION PLANS, IRRIGATION LEGEND, CALCULATIONS, ETC.

SECTOR IRRIGATION PLAN



LAKE-1 EAST SECTOR



LAKE-2 WEST SECTOR

north

SCALE: 1" = 20'

A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM THE TOWN OF SOUTHWEST RANCHES FOR REMOVAL OF ANY OR ALL TREES OR PALMS

SEE LANDSCAPE PLANS, SHEETS FOR SITE LANDSCAPE PLANS AND RESPECTIVE SECTOR CALCULATIONS, ETC.

SEE IRRIGATION PLANS, SHEETS FOR SITE IRRIGATION PLANS AND RESPECTIVE SECTOR CALCULATIONS, ETC.

SECTOR IRRIGATION PLAN

IRR-2.3

JFS

JFS Design Inc.
LANDSCAPE ARCHITECTURE
LC 000393
www.jfsdesignfl.com
jimmy@jfsdesignfl.com

AKAI ESTATES
TOWN OF SOUTHWEST RANCHES
FLORIDA, SEC. 36-50-40

1833 NW 140th Terr.
Pembroke Pines, FL 33028
TEL: (954) 441-1852
FAX: (954) 442-8225

No.	Date	Revision
1.		Per Town Staff review and comments.

designed: JFS
drawn: CURRO
checked: LU SEEFER
approved: J. F. SOCCASH
project #: 15-09
scale: AS SHOWN
date: APR. 13, 2015
folio:

JAMES F. SOCCASH
FLA # 0000133

Drawing:



Town of Southwest Ranches
13400 Griffin Road
Southwest Ranches, FL 33330-2628

(954) 434-0008 Town Hall
(954) 434-1490 Fax

Town Council
Doug McKay, *Mayor*
Freddy Fisikelli, *Vice Mayor*
Steve Breitreuz, *Council Member*
Gary Jablonski, *Council Member*
Denise Schroeder, *Council Member*

Andrew D. Berns, *Town Administrator*
Keith M. Poliakoff, *JD, Town Attorney*
Russell Muniz, *Assistant Town Administrator/Town Clerk*
Martin D. Sherwood, *CPA, CGMA, CGFO, Town Financial Administrator*

COUNCIL MEMORANDUM

TO: Honorable Mayor McKay and Town Council
VIA: Andrew D. Berns, Town Administrator
FROM: Russell Muñiz, Assistant Town Administrator/Town Clerk
DATE: 10/26/2017
SUBJECT: Town Holiday Schedule - Calendar Year 2019

Recommendation

Town Staff is requesting Town Council's consideration and approval of the Town holiday schedule for calendar year 2018.

Strategic Priorities

A. Sound Governance

Background

The holidays identified in this schedule are consistent with the local and federal government schedules for calendar year 2018.

Fiscal Impact/Analysis

No impact.

Staff Contact:

Russell Muñiz
Assistant Town Administrator/Town Clerk

ATTACHMENTS:

Description	Upload Date	Type
-------------	-------------	------

RESOLUTION NO. 2019 –

A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, APPROVING THE TOWN HOLIDAY SCHEDULE FOR THE CALENDAR YEAR 2019; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Town Council desires to establish an official 2019 holiday schedule for the Town of Southwest Ranches; and

WHEREAS, the Town’s administrative offices shall be closed in observance of the holidays delineated below.

NOW, THEREFORE, BE IT RESOLVED by the Town Council of the Town of Southwest Ranches, Florida:

Section 1: The above-referenced recitals are true and correct and are incorporated herein by reference.

Section 2: The Town Council hereby approves the following official holiday schedule for the Town of Southwest Ranches for calendar year 2019.

Schedule:

<u>Month</u>	<u>Date</u>	<u>Holiday</u>	<u>Day</u>
January	1 st	New Year’s Day	Tuesday
January	21 st	Martin Luther King, Jr. Day	Monday
February	18 th	President’s Day	Monday
May	27 th	Memorial Day	Monday
July	4 th	Independence Day	Thursday
September	2 nd	Labor Day	Monday
November	11 th	Veteran’s Day	Monday
November	28 th	Thanksgiving	Thursday
November	29 th	Day After Thanksgiving	Friday
December	24 th	Christmas Eve (Close at 1 p.m.)	Tuesday
December	25 th	Christmas Day	Wednesday
December	31 st	New Year’s Eve (Close at 1 p.m.)	Tuesday

PASSED AND ADOPTED by the Town Council of the Town of Southwest

Ranches, Florida, this 25th day of October 2018, on a motion by

_____ and seconded by _____.

McKay _____
Fisikelli _____
Breitkreuz _____
Jablonski _____
Schroeder _____

Ayes _____
Nays _____
Absent _____

Doug McKay, Mayor

Attest:

Russell Muñiz, Assistant Town Administrator/Town Clerk

Approved as to Form and Correctness:

Keith M. Poliakoff, J.D., Town Attorney

115156418.1



Town of Southwest Ranches
13400 Griffin Road
Southwest Ranches, FL 33330-2628

(954) 434-0008 Town Hall
(954) 434-1490 Fax

Town Council
Doug McKay, Mayor
Freddy Fisikelli, Vice Mayor
Steve Breitreuz, Council Member
Gary Jablonski, Council Member
Denise Schroeder, Council Member

Andrew D. Berns, Town Administrator
Keith M. Poliakoff, JD, Town Attorney
Russell Muniz, Assistant Town Administrator/Town Clerk
Martin D. Sherwood, CPA, CGMA, CGFO, Town Financial Administrator

COUNCIL MEMORANDUM

TO: Honorable Mayor McKay and Town Council
VIA: Andrew D. Berns, Town Administrator
FROM: Russell Muñiz, Assistant Town Administrator/Town Clerk
DATE: 10/26/2017
SUBJECT: Town Council Meeting Schedule - Calendar Year 2019

Recommendation

Town Staff is requesting Town Council's consideration and approval of the Town Council meeting schedule for calendar year 2018.

Strategic Priorities

A. Sound Governance

Background

Section 4.01 of the Town Charter requires the Council to hold at least 11 monthly meetings in each fiscal year. Special meetings may be held on the call of the Mayor or upon the call of three members of the Council.

Dates have been reviewed to ensure no conflict exists with established holidays.

Fiscal Impact/Analysis

No impact.

Staff Contact:

Russell Muñiz
Assistant Town Administrator/Town Clerk

ATTACHMENTS:

Description	Upload Date	Type
Town Council Meeting Schedule - TA Approved	10/22/2018	Resolution

RESOLUTION NO. 2019 -

A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, APPROVING THE TOWN COUNCIL MEETING SCHEDULE FOR THE CALENDAR YEAR 2019; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Article IV, Section 4.0.1 (a) of the Charter of the Town of Southwest Ranches provides that the Town Council shall hold at least eleven (11) monthly meetings each year; and

WHEREAS, in an attempt to have some consistency with its meeting dates, when conflicts do not exist, the Town desires to have regular meetings on the second and fourth Thursday of the month; and

WHEREAS, the Town Council has the authority to establish additional meetings and to change meetings dates as may be necessary.

NOW, THEREFORE, BE IT RESOLVED by the Town Council of the Town of Southwest Ranches, Florida:

Section 1: The above-referenced recitals are true and correct and are incorporated herein by reference.

Section 2: The Town Council hereby approves the meeting schedule, attached hereto and incorporated herein by reference as Exhibit "A", for the Town Council meetings for calendar year 2019.

Section 3: The Town Council reserves the right to amend this Resolution to establish additional meetings and to change meetings dates, as may be necessary. In addition, additional meetings may be added without amendment to this Resolution provided that proper notice is given.

Section 4: Nothing stated herein shall be interpreted to prevent special meetings or additional meetings to be called in accordance with the Town's Charter.

Section 5: This Resolution shall become effective immediately upon its adoption.

PASSED AND ADOPTED by the Town Council of the Town of Southwest

Ranches, Florida, this 25th day of October, 2018, on a

motion by _____ and seconded by _____.

McKay _____
Fisikelli _____
Breitkreuz _____
Jablonski _____
Schroeder _____

Ayes _____
Nays _____
Absent _____

Doug McKay, Mayor

Attest:

Russell Muñiz, Assistant Town Administrator/Town Clerk

Approved as to Form and Correctness:

Keith M. Poliakoff, J.D., Town Attorney

115156401.1

Exhibit A

2019 Town Council Proposed Meeting Schedule

Regular Town Council Meetings are attempted to be held at 7:00 PM on the **SECOND** and **FOURTH THURSDAY** each month. However, September meetings reflect tentative changes needed to accommodate state law pertaining to budget adoption which may require further change. Meetings may be canceled by the Town Council if there is no imminent business to discuss.

JANUARY	24
FEBRUARY	14, 28
MARCH	14, 28
APRIL	11, 25
MAY	9, 23
JUNE	13, 27
JULY	11, 25
AUGUST	8, 22
SEPTEMBER	12, 26 (Tentative)
OCTOBER	10, 24
NOVEMBER	14
DECEMBER	12

115156401.1

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Town of Southwest Ranches
13400 Griffin Road
Southwest Ranches, FL 33330-2628

(954) 434-0008 Town Hall
(954) 434-1490 Fax

Town Council
Doug McKay, Mayor
Freddy Fisikelli, Vice Mayor
Steve Breitkreuz, Council Member
Gary Jablonski, Council Member
Denise Schroeder, Council Member

Andrew D. Berns, Town Administrator
Keith M. Poliakoff, JD, Town Attorney
Russell Muniz, Assistant Town Administrator/Town Clerk
Martin D. Sherwood, CPA, CGMA, CGFO, Town Financial Administrator

COUNCIL MEMORANDUM

TO: Honorable Mayor McKay and Town Council
VIA: Andrew D. Berns, Town Administrator
FROM: Emily Aceti, Community Services Manager
DATE: 10/25/2018
SUBJECT: CSI Contract Amendment

Recommendation

Town Council consideration for a motion to approve the resolution.

Strategic Priorities

- A. Sound Governance
- B. Enhanced Resource Management
- C. Reliable Public Safety

Background

On March 29, 2006, pursuant to Resolution No. 2006-051, the Town Council approved an agreement with Code Services, Inc. ("CSI") to provide code enforcement services to the Town of Southwest Ranches ("Town").

On September 29, pursuant to Resolution No. 2016-065, the Town approved the Seventh Amendment to its Agreement with CSI, which included additional compensation, payment for the lease of office space, post-disaster services, and an extension for the term of the Agreement through September 30, 2022.

The Town and CSI desire to modify its Agreement with CSI to increase CSI's compensation and to provide for an additional code officer. This Eighth Amendment to the Agreement seeks to effectuate the agreement of both parties for this modification.

Fiscal Impact/Analysis

This amendment increases the Community Development - Code Enforcement & Zoning Account # 001-2300-524-34100 \$64,816.00. See attached Program Modification outlining the allocation.

Staff Contact:

Emily Aceti, Community Services Manager

ATTACHMENTS:

Description	Upload Date	Type
CSI 8th Modification Reso and Agreement - TA Approved	10/19/2018	Resolution
Program Modification FY 2019 Approved Budget	10/22/2018	Backup Material

RESOLUTION NO. 2019-

A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, APPROVING THE EIGHTH AMENDMENT TO THE AGREEMENT WITH CSI CODE SERVICES, INC. ("CSI"); INCREASING THE COMPENSATION EFFECTIVE OCTOBER 1, 2018; ADDING AN ADDITIONAL CODE OFFICER; AUTHORIZING THE MAYOR, TOWN ADMINISTRATOR, AND TOWN ATTORNEY TO ENTER INTO AN AGREEMENT; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, on March 29, 2006, pursuant to Resolution No. 2006-051, the Town Council approved an agreement with Code Services, Inc. ("CSI") to provide code enforcement services to the Town of Southwest Ranches ("Town"); and

WHEREAS, on April 6, 2006, pursuant to Resolution No. 2006-058, the Town Council modified the agreement to provide for additional hours of code enforcement services at an adjusted cost; and

WHEREAS, on June 14, 2007, pursuant to Resolution No. 2007-073, the Town Council approved the First Amendment to its Agreement with CSI, providing for an additional code enforcement officer; and

WHEREAS, on February 19, 2009, pursuant to Resolution No. 2009-039, the Town Council approved the Second Amendment to its Agreement with CSI, which extended the term of the Agreement for an additional three years until February 19, 2012; and

WHEREAS, on January 12, 2012, pursuant to Resolution No. 2012-026, the Town Council approved the Third Amendment to its Agreement with CSI, which extended the term of the Agreement through April 30, 2012; and

WHEREAS, on March 22, 2012, pursuant to Resolution No 2012-035, the Town Council approved the Fourth Amendment to its Agreement with CSI, which extended the term of the Agreement until March 31, 2015; and

WHEREAS, on January 10, 2013, pursuant to Resolution No 2013-025, the Town Council approved the Fifth Amendment to its Agreement with CSI, which approved CSI's selection of Robert Solera as the Town's Chief Code Officer; and

WHEREAS, On September 15, 2014, pursuant to Resolution No 2014-059 the Town approved the Sixth Amendment to its Agreement with CSI, which included the provision of additional zoning services and it extended the term of the Agreement until September 30, 2017; and

WHEREAS, on September 29, pursuant to Resolution No. 2016-065, the Town approved the Seventh Amendment to its Agreement with CSI, which included additional compensation, payment for the lease of office space, post-disaster services, and an extension for the term of the Agreement through September 30, 2022; and

WHEREAS, the Town desires to modify its Agreement with CSI to increase CSI's compensation. and to provide for an additional code officer.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA:

Section 1. The above-referenced recitals are true and correct and are incorporated herein by reference.

Section 2. The Town Council hereby approves the Eighth Amendment to the Agreement with Code Services, Inc. (CSI) as specifically delineated in Exhibit "A", attached hereto and incorporated herein by reference.

Section 3. The Town Council hereby authorizes the Mayor, Town Administrator, and Town Attorney to enter into the modification in substantially the same form as that attached hereto as Exhibit "A," and to make any and all changes necessary and proper to effectuate the intent of this Resolution.

Section 4. This Resolution shall take effect immediately upon its adoption.

[Signatures on Following Page]

PASSED AND ADOPTED by the Town Council of the Town of Southwest

Ranches, Florida, this ___ day of October, 2018, on a motion by _____ and
seconded by _____.

McKay	___	Ayes	___
Fisikelli	___	Nays	___
Breitkreuz	___	Absent	___
Jablonski	___		
Schroeder	___		

Doug McKay, Mayor

ATTEST:

Russell Muñiz, Assistant Town Administrator/Town Clerk

Approved as to Form and Correctness:

Keith Poliakoff, J.D., Town Attorney

115146676.1

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EXHIBIT "A"

EIGHTH MODIFICATION TO AGREEMENT

THIS EIGHTH MODIFICATION TO AGREEMENT entered into as of the ____ day of October, 2018 between the Town of Southwest Ranches, a municipal corporation of the State of Florida (the "Town") and CSI Code, Services, Inc., a corporation of the State of Florida ("Consultant"), for the purpose of amending the Agreement between the Town and Consultant dated April 10th, 2006 (the "Original Agreement").

WITNESSETH:

WHEREAS, on March 29, 2006, pursuant to Resolution No. 2006-051, the Town Council approved an agreement with Code Services, Inc. ("CSI") to provide code enforcement services to the Town of Southwest Ranches ("Town"); and

WHEREAS, on April 6, 2006, pursuant to Resolution No. 2006-058, the Town Council modified the agreement to provide for additional hours of code enforcement services at an adjusted cost; and

WHEREAS, on June 14, 2007, pursuant to Resolution No. 2007-073, the Town Council approved the First Amendment to its Agreement with CSI, providing for an additional code enforcement officer; and

WHEREAS, on February 19, 2009, pursuant to Resolution No. 2009-039, the Town Council approved the Second Amendment to its Agreement with CSI, which extended the term of the Agreement for an additional three years until February 19, 2012; and

WHEREAS, on January 12, 2012, pursuant to Resolution No. 2012-026, the Town Council approved the Third Amendment to its Agreement with CSI, which extended the term of the Agreement through April 30, 2012; and

WHEREAS, on March 22, 2012, pursuant to Resolution No 2012-035, the Town Council approved the Fourth Amendment to its Agreement with CSI, which extended the term of the Agreement until March 31, 2015; and

WHEREAS, on January 10, 2013, pursuant to Resolution No 2013-025, the Town Council approved the Fifth Amendment to its Agreement with CSI, which approved CSI's selection of Robert Solera as the Town's Chief Code Officer; and

WHEREAS, On September 15, 2014, pursuant to Resolution No 2014-059 the Town approved the Sixth Amendment to its Agreement with CSI, which included the

provision of additional zoning services and it extended the term of the Agreement until September 30, 2017; and

WHEREAS, on September 29, pursuant to Resolution No. 2016-065, the Town approved the Seventh Amendment to its Agreement with CSI, which included additional compensation, payment for the lease of office space, post-disaster services, and an extension for the term of the Agreement through September 30, 2022; and

WHEREAS, the Town and CSI desire to modify its Agreement with CSI to increase CSI's compensation. and to provide for an additional code officer.

WHEREAS, this Eighth Amendment to the Agreement seeks to effectuate the agreement of both parties as specifically described herein.

NOW, THEREFORE, for and in consideration of the premises and for Ten Dollars (\$10.00) and for other good and valuable consideration the receipt and sufficiency whereof is hereby acknowledged, the parties hereto agree that the Original Agreement shall be amended as follows:

1. The foregoing recitals are true and correct.
2. Section 2.1 "Scope of Services" shall be amended solely to remove the required minimum hours of service.
3. Section 4.1 of Article 4 "Compensation" shall be amended to read as follows:
 - 4.1 CSI shall provide Code Compliance Services, as described herein and in Exhibit "A", to the Town for an Annual Fee of Two Hundred and Nine Thousand Five Hundred and Sixteen Dollars and Zero Cents (\$209,516.00). This total contract price shall be allocated as follows: One level III code officer, who shall manage the entire department, and who shall work a minimum of 40 hours per week, shall receive \$74,064 annually; One level III code officer, who shall work a minimum of 40 hours per week, shall receive \$55,000 annually; One level I code officer or higher, who shall work a minimum of 40 hours per week, shall receive \$38,000 annually; One code coordinator, who shall work a minimum of 40 hours per week, shall receive \$41,952 annually; and \$500 annually for IWorq code enforcement software. Such total amount shall be paid in equal monthly installments, in accordance with the Town's payment schedule, in the amount of \$17,459.67 per month. In the event that the Town's Code Enforcement Staff is not filled as indicated above, or in the event that the software has not been purchased,

the Town's monthly payment shall be prorated daily until the missing position, or software, has been filled. All vacated positions must be refilled within sixty (60) calendars days of such vacation unless the Town Administrator grants an extension for good cause shown. CSI shall provide the Town Administrator with an invoice, in a form and format acceptable to the Town, documenting that its monthly services have been performed, in accordance with the terms and conditions stated herein. Upon the Town's acceptance of such invoice, CSI shall be provided with payment as delineated herein. The TOWN shall not be required to pay CSI compensation if the officer(s) fail to perform or if the part time administrative coordinator fails to provide services below the minimum hourly requirements delineated herein.

~~One Hundred and Twenty Five Thousand Dollars and Zero Cents (\$125,000.00), which shall be paid in monthly installments of Ten Thousand Four Hundred and Sixteen Dollars and Sixty Five Cents (\$10,416.65.) In consideration of CSI's agreement to hire a part time administrative coordinator for at least 128 hours per month, commencing on October 1, 2017, such annual compensation shall be increased to an Annual Fee of One Hundred and Forty Three Thousand Five Hundred Dollars and Zero Cents (\$143,500.00), which shall be paid in monthly installments of Eleven Thousand Nine Hundred and Fifty Eight Dollars and Thirty Three Cents (\$11,958.33). In the event that a secondary certified code enforcement officer is not assigned to the Town, the Town's monthly payment, or prorated portion thereof, shall be reduced to Six Thousand Two Hundred and Fifty Dollars and Zero Cents (\$6,250.) Seven Thousand Seven Hundred and Ninety One Dollars and Sixty Seven Cents (\$7,791.61); until such time as a secondary certified code officer has been assigned to the Town, which in no event shall be more than sixty (60) days, unless the Town Administrator grants an extension for good cause shown. In the event that the part time administrative coordinator is not assigned to the Town, the Town's monthly payment, or prorated portion thereof, shall be reduced to Ten Thousand Four Hundred and Sixteen Dollars and Sixty Five Cents (\$10,416.65.), until such time as a new part time administrative coordinator has been assigned to the Town, which in no event shall be more than sixty (60) days, unless the Town Administrator grants an extension for good cause shown. CSI shall provide the Town Administrator with an invoice documenting that said services have been performed and CSI shall be provided with payment as delineated in Section 4.2 below. The TOWN shall not be required to pay CSI compensation of the~~

~~enforcement officers fail to perform if the officer(s) fail to perform or if the code enforcement officer(s) or part time administrative coordinator provide services below the minimum hourly requirement as delineated in Section 2.1 above.~~

4. All other terms and conditions not modified herein shall remain of full force and effect and binding upon the parties.

IN WHITNESS WHEREOF, this Extension and Modification is accepted and executed as of this _____ day of October, 2018.

TOWN OF SOUTHWEST RANCHES

CSI CODE SERVICES, INC.

Doug McKay, Mayor

Robert Solera, President

Attest:

Russell Muñiz, MMC, Town Clerk

Approved as to form and correctness:

Keith M. Poliakoff, J.D., Town Attorney

115146676.1

FUNDED

Town of Southwest Ranches, Florida

FY 2019 Program Modification

Code Enforcement-Level of Service Increase

Department Name	Division Name	Fund	Priority	Fiscal Impact
Community Development: Code Enforcement	Code Enforcement	General	1	\$64,816

Justification and Description

Members of Council have expressed their desire to increase the assets needed to provide the necessary service due to the increase in duties related to code enforcement, zoning review and zoning inspections. As such, our contractual services provider, Code Services, Inc (CSI), is proposing:

- One (1) additional Code Enforcement Officer, entry level (1), with an annual salary of **\$38,000**. This new position will alleviate the amount of time that the existing Community Development Director needs to allocate to Code Enforcement, assisting our current Code Enforcement Officer.
- Our current Code Enforcement Officer, after a lengthy process of studying and gathering of experience, has acquired Level III Code Enforcement Certification issued by the Florida Association of Code Enforcement Officers. This certification allows the Code Enforcement Officer to perform Director's duties in his absence and be able to assist the Town Attorney during litigation proceedings for code enforcement Cases in the Court of Law. In addition, this officer is assisting the Community Development Director by performing zoning inspections, as required. As such, we are requesting an increase in the amount of \$634 per month (**\$7,608** annually,) bringing him to a salary amount in accordance with his current duties and expertise.
- The current CSI contract provides for a total of 128 hours per month maximum, allocated to the Administrative Coordinator. An increase in the duties and amount of work that has been generated requires increasing the number of hours to 160 hours per month. As such, we are proposing an increase in the amount of \$1,559 monthly (**\$18,708** annually.)
- It is the desire of the Town Council to have a combined integration of Code Enforcement Cases with information available on the Town's website about the cases for residents. Currently a link is provided to a pdf form that gives this information, but has no search capability at all. Code Services Inc. has engaged the services of IworQ, a web base company. This program provides for a module with GIS capabilities. This capability will be available to the residents in the form of a searchable map. The information that will be displayed relates to any violations, types of violations and the latest information as to the Department's action for specific properties or properties near their surroundings. In addition, it will be integrated to the GIS system that the Town is currently developing. As such, we request a fee of **\$500** annually that will cover the maintenance, quarterly updates, and availability of the search engine to residents and visitors at large.

Alternative/Adverse Impacts if not funded:

If the requested additional amounts and new overall personnel is not obtained, the level of service that the Department provides to the Town will not be as expected. The response time to incidents will not be as fast as the Town residents have become accustomed. Currently the response time has been diminished due to the amount of cases and paperwork required to prepare the cases for the Special Magistrate docket of cases. If the program is not implemented, the Council request will not be possible, and the residents will not receive the necessary tools to interact with the Department and be up to date on the daily operations of the Department. This action will result in a continuous increase of phone calls, use of staff time to provide information daily, and the impression that no actions are being taken by the Department to answer and address complaints, which is far from the reality.

Required Resources

Line item	Title or Description of request	Cost
001-2300-524-34100	Code Enforcement – Level Of Service Increase	\$64,816

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REGULAR MEETING MINUTES OF THE TOWN COUNCIL
Southwest Ranches, Florida

Thursday 7:00 PM

September 27, 2018

13400 Griffin Road

Present:

Mayor Doug McKay

Vice Mayor Freddy Fisikelli

Council Member Steve Breitkreuz

Council Member Gary Jablonski

Council Member Denise Schroeder

Andy Berns, Town Administrator

Russell Muñiz, Assistant Town Administrator/Town Clerk

Martin D. Sherwood, Town Financial Administrator

Keith Poliakoff, Town Attorney

Regular Meeting of the Town Council of Southwest Ranches was held at 13400 Griffin Road in the Southwest Ranches Council Chambers. The meeting, having been properly noticed, was called to order by Mayor McKay at 7:15 PM. Attendance was noted by roll call and was followed by the Pledge of Allegiance.

4. Public Comment

The following members of the public addressed the Town Council: Newell Hollingsworth, David Kuczenski, Tony Browne, Scott Smith, and Jorge Martinez, and Debbie Green.

5. Board Reports

None were presented.

6. Council Member Comments

Council Member Jablonski advised of upcoming events, Country Roads Arts & Crafts Festival on Oct. 20th, the DMV FLOW Mobile on Oct. 25th and Nov. 15th. He added that the ROCA Halloween event at the Barn is on Oct. 27th, and the Broward County Property Appraiser Outreach on Oct. 15th and Nov. 1st. Lastly, he informed that the Parks Foundation Car & Chili Festival will be held on Nov. 17th.

Council Member Schroeder commented on the Dark Sky Ordinance. She suggested that the Town be more proactive on this issue going forward. She commended Parks, Recreation and Open Space Manager, December Lauretano-Haines, about the scheduling of the parks' grass being cut before Town events.

Council Member Breitkreuz recognized Sunshine Ranches HOA's donation to the SEAB Scholarship Fund.

Vice Mayor Fisikelli offered no comments.

Mayor McKay informed that he met with Town Attorney Poliakoff, Town Administrator Berns, Assistant Town Administrator/Town Clerk Muñiz, Town Engineer Ley and resident Jorge Martinez to discuss issues with the Griffin 345 gate. He explained that the gate is built, but not functional, the keypad cannot be reached unless you get out of the car. Mayor McKay directed Town

Administrator Berns and Town Attorney Poliakoff to meet with residents Scott Smith and Jorge Martinez before following up with the Griffin 345 Association to work together towards a resolution that is acceptable to Council prior to finalizing the gate and the last payment of the grant.

Council Member Breitreuz reminded Mayor McKay that there is a significant increase in the amount of traffic on Griffin Road and 190th Ave. and that FDOT should be notified. He commented that the Mayor and resident, Jorge Martinez are on the right track with the Griffin 345 Association gate issue. The Mayor replied that he was going to pursue that issue. Mayor McKay informed the Council that he received a phone call from the Vice Mayor of Davie, Bryan Caletka stating that Department of Transportation can override the Town and install a traffic light on Griffin and I-75 if they feel there is danger related to accidents. Council Member Breitreuz opined that he is not in favor of FDOT putting a traffic light. He feels that it would be even more hazardous if a traffic light was put there. Mayor McKay announced that he will attend the Town of Davie Council meeting where a resolution related to the traffic issue will be discussed.

Lastly, Mayor McKay shared some slides of a horse trail and arena which he bought from a friend who sold it to him for \$5. The portable horse trail and arena are across the street from the Tom Thumb on Griffin Road.

7. Legal Comments

Town Attorney Poliakoff announced that at the next Town Council meeting on Oct 11th, there will be a first reading of the retail nursery landscape commercial operation ordinance. He encouraged everyone to attend the meeting.

8. Administration Comments

Town Administrator Berns advised that an upcoming Pesticide Safety Training will be held on Oct. 9th at Town Hall, and an EPA approved Train the Trainer Certification class on Oct. 10th. He advised that Waste Pro is on notice and penalties will be enforced. Lastly, Town Administrator Berns recognized Town Financial Administrator Martin Sherwood for his efforts in the things that he does to keep things going in the right direction for the Town.

Resolutions

9. A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, RESPECTFULLY REQUESTING THE BROWARD COUNTY LEGISLATIVE DELEGATION TO ADOPT A LOCAL BILL TO PREVENT A MUNICIPALITY IN BROWARD COUNTY FROM ATTEMPTING TO ANNEX LANDS LOCATED WITHIN ANOTHER MUNICIPALITY WITHOUT THAT MUNICIPALITY'S CONSENT, AND FROM PURCHASING LANDS LOCATED WITHIN ANOTHER MUNICIPALITY WITHOUT THAT MUNICIPALITY'S CONSENT; AUTHORIZING THE MAYOR, TOWN ADMINISTRATOR, AND TOWN ATTORNEY TO SUBMIT A LOCAL BILL; AND PROVIDING AN EFFECTIVE DATE.

MOTION: TO APPROVE THE RESOLUTION.

The following motion was made by Council Member Breitzkreuz, seconded by Council Member Jablonski, and passed by a 5-0 roll call vote. The vote was as follows: Council Members Breitzkreuz, Jablonski, Schroeder, Vice Mayor Fisikelli, and Mayor McKay voting Yes.

- 10.** Approval of Minutes
 - a. September 12, 2018 Regular Meeting Minutes
 - b. September 12, 2018 Special Meeting Minutes

- 11. Adjournment** - Meeting was adjourned at 8:08 PM.

Respectfully submitted:

Ivette Solera, Deputy Town Clerk

*Adopted by the Town Council on
this 25th day of October, 2018.*

Doug McKay, Mayor

PURSUANT TO FLORIDA STATUTES 286.0105, THE TOWN HEREBY ADVISES THE PUBLIC THAT IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THIS COUNCIL WITH RESPECT TO ANY MATTER CONSIDERED AT ITS MEETING OR HEARING, HE OR SHE WILL NEED A RECORD OF THE PROCEEDINGS, AND THAT FOR SUCH PURPOSE, THE AFFECTED PERSON MAY NEED TO ENSURE THAT VERBATIM RECORD OF THE PROCEEDING IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED THIS NOTICE DOES NOT CONSTITUTE CONSENT BY THE TOWN FOR THE INTRODUCTION OR ADMISSION OF OTHERWISE INADMISSIBLE OR IRRELEVANT EVIDENCE, NOR DOES IT AUTHORIZE CHALLENGES OR APPEALS NOT OTHERWISE ALLOWED BY LAW.